



Historic Preservation Commission  
SPECIAL CALL MEETING

Monday, May 19, 2025 @ 6:00 PM

**1. Call Meeting to Order**

**2. Approval of Minutes**

- a. February 6, 2025

**3. Old Business**

**4. New Business**

- a. Request for a Certificate of Appropriateness – 306 Washington Ave – PIDN: 60137522.000 – Micheal McRaney – Approval for a secondary living unit on an existing slab.
- b. Request for a Certificate of Appropriateness – 208 Washington Ave – PIDN: 60137516.000 – Gaston Bordis – Approval to demolish existing house.
- c. Request for a Certificate of Appropriateness – 504 Jackson Ave – PIDN: 60137236.000 – Marques Thomas (applicant); St Alphonsus Church – Approval to build a detached restroom.
- d. Request for a Certificate of Appropriateness – 515 Rayburn Ave – PIDN: 60137596.000 – Harley Klein – Approval to demo and replace the existing awning, repair and replace the porch screen and framing, repair any damaged trim and siding.
- e. Request for a Certificate of Appropriateness – 110 Shearwater Dr – PIDN: 60130590.070 – Frances White – Approval to replace existing 4 foot white fence with a 4 foot vinyl white fence.

**5. Audience Request**

**6. Administrative**

**7. Adjourn**

**The Minutes of the City of Ocean Springs  
Historic Preservation Commission  
Thursday, February 6, 2025**

1. Call meeting to order.

The Chairman Bonnie Munro, called the meeting to order on Thursday, February 6, 2025, at 5:00 pm. Commission members present were Charles Fowler, Kathy Stafford, Michael Burns, Bonnie Munro, Michael Doster. Members absent were Owen White and Karen Chewing. Staff present were Wade Morgan, Interim Community Development Director, Hannah Sullivan, Planning Administrator, and Elizabeth Dill, Planner.

2. Approval of Minutes.

A motion was made by Kathy Stafford and recommended by Michael Doster to accept the January 2, 2025, minutes. The motion passed unanimously.

3. Old Business – None

4. New Business

- a. Request for a Certificate of Appropriateness – 525 Porter Ave./PIDN:60225030.100 – Josh and Paige Hertel, requesting approval to add a 4 ft. black metal fence in front yard and add skirting around the house. Michael Burns recused herself from this agenda item.

A motion was made by Charles Fowler, second by Michael Doster to recommend Approval. The motion passed unanimously. Michael Burns returned.

- b. Request for a Certificate of Appropriateness – 1406 Bowen Ave/PIDN: 60137132.000 – Approval for a 14 x 14 ft shed with awning, painted to match exterior of home and trim. Kathy Stafford recused herself from this agenda item.

A motion was made by Michael Burns, second by Michael Doster to recommend Approval. The motion passed unanimously. Kathy Stafford returned.

- c. Request for a Certificate of Appropriateness – 314 Jackson Ave./PIDN: 60137420.000 – Approval for an addition to his storage shed, Expanding the south side of shed by 8 ft.

A motion was made by Charles Fowler, second by Michael Doster to recommend Approval. The motion passed unanimously.

- d. Request for a Certificate of Appropriateness - 921 Ocean Ave. First Presbyterian Church of Ocean Springs/PIDN:60137394.000 to replace 3 wooden windows  
Bonnie Munro recused herself from this agenda item.

A motion was made by Michael Doster, second by Kathy Stafford to recommend Approval. The motion passed unanimously.  
Bonnie Munro Returned

5. General Public Comment – None

6. Commissioner Forum – None

7. Adjourn

A motion was made by Charles Fowler, second by Kathy Stafford to adjourn the meeting. The motion was carried unanimously.

DRAFT

**CITY OF OCEAN SPRINGS  
COMMUNITY DEVELOPMENT AND PLANNING  
POST OFFICE BOX 1800  
OCEAN SPRINGS, MS 39566-1800  
228-875-4415**

**HISTORIC PRESERVATION COMMISSION REPORT**

**MEETING DATE:** May 19, 2025 (Special Call Meeting)

**APPLICANT:** Michael McRaney

**CURRENT OWNER:** Michael McRaney  
Patricia Lane

**REQUESTED ACTION:** Approval of Certificate of Appropriateness to rebuild an accessory dwelling unit on an existing slab that once had an accessory dwelling unit.

**DATE OF APPLICATION:** March 4, 2025

**LOCATION:** 306 Washington Ave  
Old Ocean Springs Historic District

**PARCLE NUMBER:** 60137522.000

**DESCRIPTION OF THE REQUEST:**

The applicant proposes to rebuild an accessory dwelling using hardie board and white paint on an existing slab to match the previous accessory dwelling.

**ADJACENT ZONING/LAND USE:**

**Subject Property:** R-1 Low Density Single Family/single-family dwelling

**North:** R-1 Low Density Single Family

**South:** R-1 Low Density Single Family

**East:** R-1 Low Density Single Family

**West:** R-1 Low Density Single Family



## **MS DEPT. OF ARCHIVES AND HISTORY RESOURCES INVENTORY:**

- **BRIEF DESCRIPTION:** One-story, frame, three-bay-wide (w-d-www) intersecting-gable Queen Anne T-Front house with a hip-roofed wraparound porch supported by square wood posts and picketed balustrade. Bay 3 is an enclosed section of the wraparound porch. Windows are wood 10 and 12-light casement in pairs, wood 1-light fixed, and vinyl 6/6 d-h-s with faux muntins. Decorative features include scrollwork and arched vents in the pented gables. The house rests on brick piers, is clad in clapboards, and has a pressed metal roof.
- **HISTORIC INFORMATION:** 306 Washington Avenue may have been built by Frederick Wing of New Orleans sometime around 1880. The property was left (in his will) to Frederick's daughter Jessie Tebo, also a New Orleans resident. She sold it to Hannah Johnson, whose husband was an L&N Railroad conductor. The property exchanged hands once again and was sold to the Holloway family. Jefferson D. Holloway was an L&N Railroad engineer. The Holloways had a large lot north of the house where they raised goats and horses.

## **FINDINGS:**

- The applicant is proposing to:
  - Use existing slab that an old accessory dwelling once existed
  - Use hardie board to match the house and shed
  - Will be painted white to match house and shed
- Accessory dwellings are allowed in the R-1 zoning; Section 6.3 Accessory Dwelling Units; Page 286 (UDC)
- Ocean Springs Historic District Design Guidelines; Outbuildings Page 48
  - Outbuildings, also known as dependencies, are traditional components of historic properties. Historically, many household functions were relegated to dependency structures in the yard. Kitchens, garages and carriage houses, smokehouses, privies, storage sheds, and laundry sheds were common components of residential landscapes. Life-style changes and modern conveniences have rendered many of these structures obsolete, many of which have all but vanished from the modern landscape. The few that remain are important indicators of the history and should be preserved.
    - A. Historic outbuildings are very significant landscape components and should be preserved and maintained. Outbuildings should be treated in manner consistent with the rehabilitation guidelines for houses with regard to foundations, exterior treatments, details, windows, doors, and roofs. Replacement materials should match the original.
    - B. New outbuildings should be located to the rear of the main building in a manner consistent with the placement of historic structures.

- C. The scale of new outbuildings should respect historic precedent for similar dependency structures and should not overwhelm the main building.
- D. New outbuildings, when visible from the public view, should be of design and materials compatible to existing historic examples within the district. Stock outbuildings and carports are inappropriate. Outbuildings constructed with vinyl or metal are prohibited.
  - New construction in historic neighborhoods should respect the scale existing buildings in the district. New buildings should reference existing structures for height and width.
  - New buildings should replicate the foundation and story heights of adjacent and nearby historic properties.
  - New buildings should reference the roof shape, pitch, and height of adjacent and nearby historic buildings.
  - New buildings should draw upon the shape and composition of the main bodies of adjacent and nearby historic buildings for guidance.

**PUBLIC FEEDBACK:**

None received as of April 25, 2025.

**POTENTIAL MOTION:**

To recommend **approval** of a COA for the construction of an accessory dwelling on existing slab for 306 Washington Ave as described in the application and building plans.

**-OR-**

To recommend **denial** of a COA for the rebuild of an accessory dwelling on an existing slab for 306 Washington Ave as described in the application and building plans.



City of Ocean Springs  
 Historic Preservation Commission  
 1018 Porter Avenue / PO Box 1800 Ocean Springs, MS 39564  
 (228) 875-4415

— CERTIFICATE OF APPROPRIATENESS APPLICATION —

Application Date: 03-09-2025

[Applications are due by the 7th of each month for consideration the FOLLOWING month.]

APPLICATION FEE: **\$51.00** – Cash, Check (Payable to CITY OF OCEAN SPRINGS), C/C – 3% fee  
 \$1.00 fee is per Ordinance 2022-17 following requirements of Section 25-60-5 MS Code Annotated

**\*\*\*\*\* APPLICANT MUST ATTEND HEARING \*\*\*\*\***

Property Address: 306 Washington Ave

Property Owner(s): Michael McRaney + Patricia Lane

Parcel ID Number: 60137522.000 Approximate Age of Home: 140 yrs old

**ACCESS:** Upon application submittal, City Officials and HPC Members are authorized to enter property to view proposal unless checked below.

Check here if City Officials and HPC members DO NOT have permission to enter property.

**Applicant [Check one]:**  Architect  Contractor  Owner  Other \_\_\_\_\_

Name: Michael McRaney

Address: 306 Washington Ave

City: Ocean Springs State: MS Zip: 30564

Phone: 504-615-6976 Email: michaelmcraney@yahoo.com

**Property Owner [if Different]:**

Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**DIRECTIONS:** Check box which best represents your request (more than one box may be checked), and **ATTACH** the corresponding checklist to help ensure a complete application.

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> New Construction, Additions, Extensive Renovation / Repair | <input type="checkbox"/> Landscaping and Site Improvements (i.e. Fencing) |
| <input type="checkbox"/> Minor Renovation / Repair   | <input type="checkbox"/> Signage  |
| <input type="checkbox"/> Exterior Painting (Contributing Structures Only)                      | <input type="checkbox"/> Demolition                                       |

**PLEASE CHECK DISTRICT/LISTING**

- BOWEN
- INDIAN SPRINGS
- LOVER'S LANE

- MARBLE SPRINGS
- OLD OCEAN SPRINGS
- RAILROAD

- SHEARWATER
- SULLIVAN-CHARNELY
- INDIVIDUAL LISTING

**Requirements:**

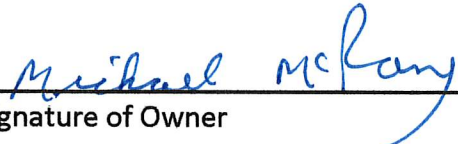
- All work in the Historic District OR on Individually Listed Structures must comply with the *City of Ocean Springs Historic District Design Guidelines*. The Guidelines are available at City Hall and for review at the Ocean Springs Library. This form must be completed in its entirety, with any attachments, before Historic Preservation Commission (HPC) consideration will be scheduled. Incomplete applications can result in project delays.
- Architectural plans and rendering are encouraged; if not available, roughly scaled and dimensional drawings will suffice. Documentation must be provided in a format that can be easily copied for the design process. Architectural drawing, construction details, landscape plans, etc., should be printed on paper no larger than 11" X 17". HPC is concerned with exterior features. Interior floor plans and features are not necessary.
- **SIGN:** A sign will be placed in the front yard of the property prior to the HPC meeting to notify surrounding property owners of pending application. If the sign is not returned a \$ 25.00 fee will be assessed with the building permit.

**Notes:**

- Certificate of Appropriateness (COA) remains in force for two (2) years and may be extended for one (1) additional year. However, if a period of one (1) year passes and no initial construction has occurred, the COA is voided, and a new application must be submitted and approved before work may begin.
- Certificate of Appropriateness does not relieve the Property Owner from the responsibility of obtaining any other required permits. Building and other permits may be required, even if a COA is not required. For more information contact the Building Department at (228) 875-6712.
- The information on this application represents an accurate description of the proposed work and the undersigned has omitted nothing which might affect the decision of the Commission. The undersigned hereby certifies that the project described in the application, as detailed by plans and specification attached, will be constructed in exact accordance with aforesaid plans and specifications. It is understood that a Building Permit will be required in addition to the Certificate of Appropriateness. Oath not required, but answer subject to rules of perjury.

Michael McRaney

\_\_\_\_\_  
Printed Name of Owner

  
\_\_\_\_\_  
Signature of Owner

\_\_\_\_\_  
Printed Name of Authorized Agent

\_\_\_\_\_  
Signature of Authorized Agent

\_\_\_\_\_  
Date

03-04-2025

**\*\*\*\*\* APPLICANT MUST ATTEND HEARING \*\*\*\*\***



— CERTIFICATE OF APPROPRIATENESS APPLICATION —  
**DESCRIPTION OF REQUEST ATTACHMENT FOR:**

**DEMOLITION**

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**NOTE:** Architectural plans and rendering are encouraged; if not available, roughly scaled and dimensional drawings will suffice. Documentation must be provided in a format that can be easily copied for the design process. Architectural drawing, construction details, landscape plans, etc., should be printed on paper no larger than 11" X 17". HPC is concerned with exterior features. Interior floor plans and features are not necessary.

**Required Attachments:**

- a. \_\_\_\_\_ Photographs of all sides of the structure to be removed;
- b. \_\_\_\_\_ Site plan showing locations of structures, fences, walls, walkways, and protected trees;
- c. \_\_\_\_\_ Provide a sketch showing intent for the property. In considering an application for the demolition of a landmark or resource with a historic district, the following shall be considered:
  - 1. The individual historical or architectural significance of the resource;
  - 2. The importance or contribution of the resource to the aesthetics of the district;
  - 3. The difficulty or impossibility of reproducing such a resource because of its texture, design, material, or detail; and
  - 4. The proposed replacement structure and the future utilization.

Description: NA

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— **Attach Additional Sheets if Needed** —











— CERTIFICATE OF APPROPRIATENESS APPLICATION —  
**DESCRIPTION OF REQUEST ATTACHMENT FOR:**

**New Construction, Additions, Extensive Renovation / Repair**

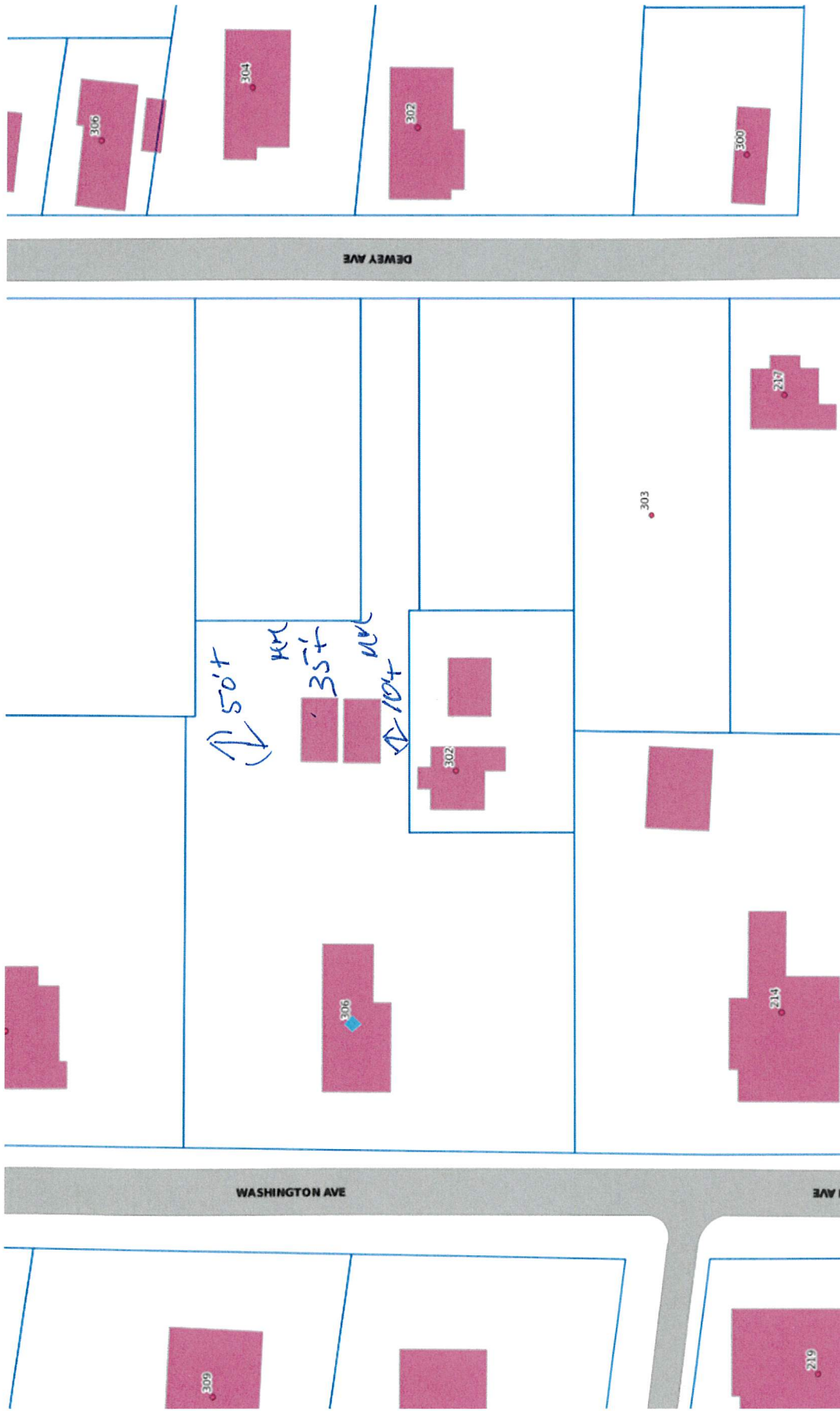
**NOTE:** Architectural plans and rendering are encouraged; if not available, roughly scaled and dimensional drawings will suffice. Documentation must be provided in a format that can be easily copied for the design process. Architectural drawing, construction details, landscape plans, etc., should be printed on paper no larger than 11" X 17". HPC is concerned with exterior features. Interior floor plans and features are not necessary.

**Required Attachments:**

1. **Two (2)** sets of scaled drawing, which shall include:
  - a.  A site plan illustrating location of proposal as well as all other structures on the site, with dimensions, setback distances, landscaping, driveways, walkways and protected trees.;
  - b.  A floor plan, with dimensions as it impacts the exterior of the structure;
  - c.  A drawing with dimensions of all affected exterior elevations;
  - d.  Notes describing exterior materials to be used. (i.e. walls, roof, trim, cornice, windows, doors, etc.);
  - e.  Detailed drawings or photographs of any decorative architectural details. (i.e. columns, balustrades, modillions, etc.); and
  - f.  Paint samples and plan keyed to location of each color (*Pivotal Structures Only*).
2. Photographs of the subject structure to be worked on, and adjacent property structures.
  - a.  Subject property; and
  - b.  Adjacent property structures.

**Description:** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

— **Attach Additional Sheets if Needed** —





# 306 WASHINGTON AVE COTTAGE

PROJECT # 24-020

BUILDER'S SET  
12/31/2024

DESIGNER MAKES NO REPRESENTATIONS CONCERNING ACCURACY OF THESE DOCUMENTS AND THEIR COMPLETENESS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CODE, ORDINANCE, AND SAFETY REQUIREMENTS ARE MET AND CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS AND EXPENSES ASSOCIATED THEREWITH.

OWNER SHALL REVIEW AND HOLD DESIGNER HARMLESS FROM AND AGAINST ANY AND ALL LIABILITIES, CLAIMS AND COSTS INCLUDING ATTORNEY'S FEES, PENALTIES AND FEES FOR CEASE AND DESIST OR DAMAGES TO PERSONS OR PROPERTY ARISING FROM ANY SUE ALL BY DESIGNER IN THE PERFORMANCE OF HIS OBLIGATIONS UNDER THESE DOCUMENTS, OR BY ANY ACTS, OMISSIONS OR NEGLIGENCE OF DESIGNER OR HIS AGENTS AND EMPLOYEES.

IF ANY ACTION IS BROUGHT AGAINST DESIGNER UPON ANY SUCH CLAIM, OWNER SHALL COVER SUCH ACTION BE DEFENDED, AT HIS EXPENSE, BY COURSE AND REASONABLY SATISFACTORY TO DESIGNER. ANY AND ALL CLAIMS AND DAMAGES AND OTHER MATTERS IN QUESTION AND SUBJECT OF HERETO TO THESE DOCUMENTS, SHALL BE REFERRED TO ARBITRATION BY AN ARBITRATOR MUTUALLY AGREABLE TO DESIGNER AND OWNER.

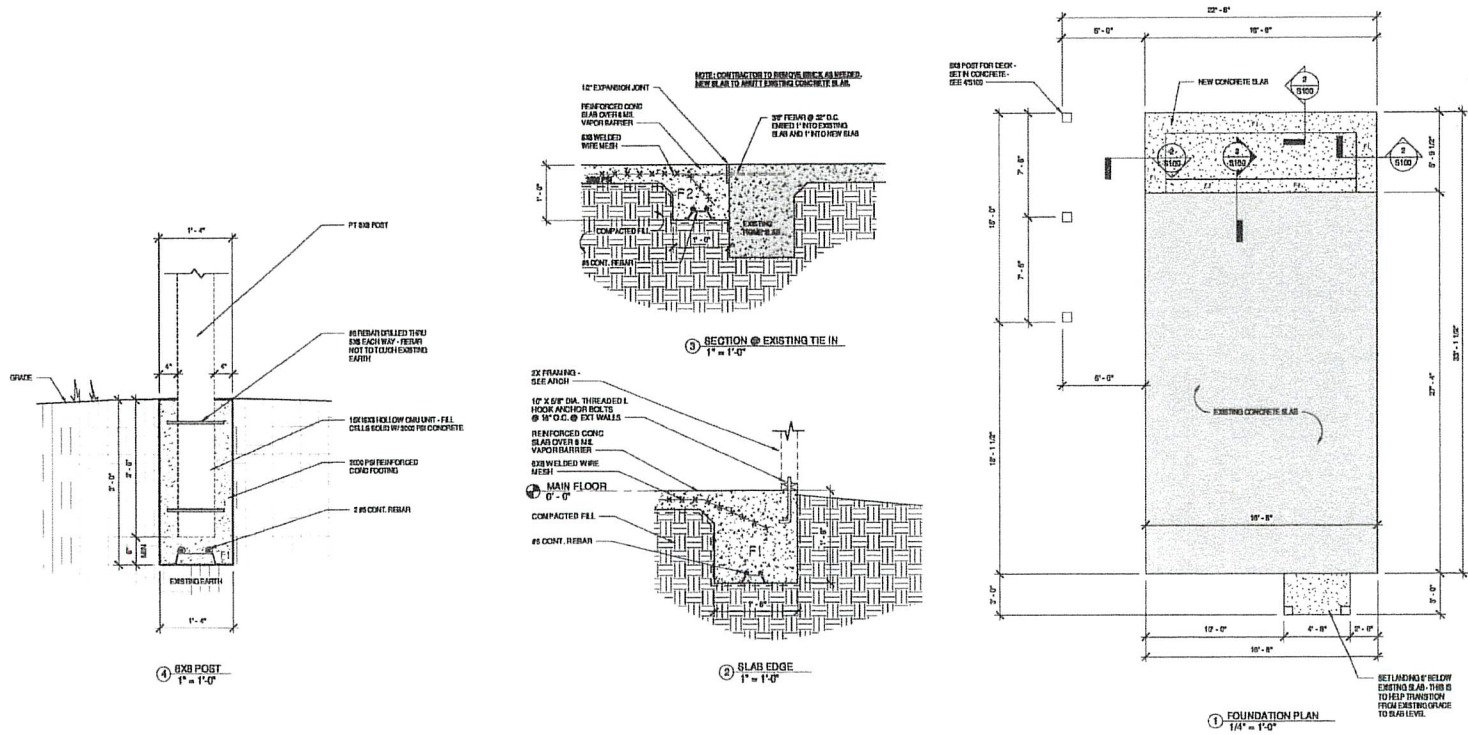


438 GOOSE POINTE BLVD. BILOXI, MS 39531

DESIGNER MAKES NO REPRESENTATIONS CONCERNING ACCURACY OF THESE DOCUMENTS AND THEIR COMPLETENESS. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CODES, ORDINANCES, AND SAFETY REQUIREMENTS ARE MET AND CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS AND EXPENSES INCURRED THEREFROM.

OWNER SHALL INDEMNIFY AND HOLD DESIGNER HARMLESS FROM AND AGAINST ANY AND ALL LIABILITY, CLAIMS AND COSTS INCLUDING ATTORNEY'S FEES, PENALTIES AND COSTS FOR CORRECTIVE ACTION OR DAMAGES TO PERSONS OR PROPERTY ARISING FROM (IN ANY DETAIL) BY DESIGNER IN THE PERFORMANCE OF ITS OBLIGATIONS UNDER THESE DOCUMENTS, OR BY ANY ACTS, OMISSIONS, OR NEGLIGENCE OF DESIGNER OR ITS AGENT AND EMPLOYEES.

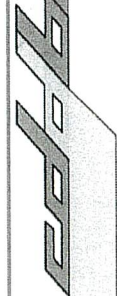
IF ANY ACTION IS BROUGHT AGAINST DESIGNER UPON ANY BASIS CLAIM, OWNER SHALL WAIVE SUCH ACTION BE SETTLED AT ITS OPTION, BY COURT, DEPARTMENT Satisfactory TO DESIGNER, ANY AND ALL CLAIMS AND DEFENSES AND OTHER MATTERS IN QUESTION ARISING OUT OF OR RELATING TO THESE DOCUMENTS, SHALL BE REFERRED TO ARBITRATION BY AN ARBITRATOR MUTUALLY AGREEABLE TO DESIGNER AND OWNER.



COURT DILLON DESIGN & BUILD LLC  
1001 WHITE HALL, BELLEVUE, WA 98001  
206.309.7564 P

NUMBER 9-03  
DATE 10/23  
DRAWN CN

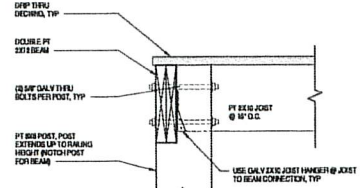
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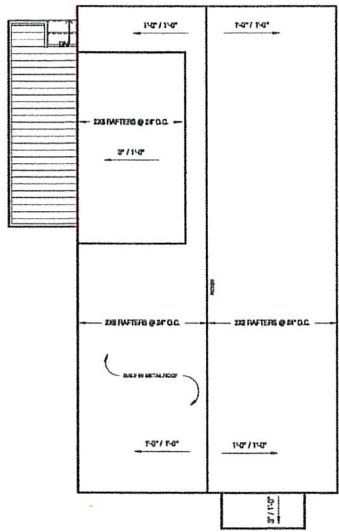
DESIGNER MAKES NO REPRESENTATIONS CONCERNING ACCURACY OF THESE DOCUMENTS AND THEIR COMPLETENESS. CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING ALL CODE, ORDINANCE, AND SAFETY REQUIREMENTS ARE MET AND CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS AND EXPENSES ASSOCIATED THEREWITH.

OWNER SHALL INDEMNIFY AND HOLD DESIGNER HARMLESS FROM AND AGAINST ANY AND ALL LIABILITIES, CLAIMS AND COSTS (INCLUDING ATTORNEY'S FEES, PENALTIES AND FINES FOR CAUSE), HAPPIY OF DAMAGES TO PERSONS OR PROPERTY ARISING FROM AN ANY OR FAILURE TO COMPLY WITH THE PERFORMANCE OF THE OBLIGATIONS UNDER THESE DOCUMENTS, OR IN ANY ACTION, COUNTERSUIT, OR OTHER SOURCE OF DESIGNER OR ITS AGENT AND EMPLOYEES.

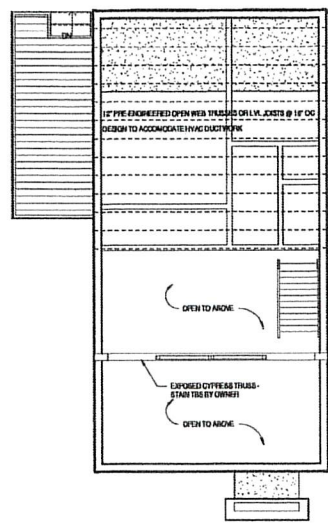
IF ANY ACTION IS BROUGHT AGAINST DESIGNER UPON ANY SUCH CLAIM, OWNER SHALL CAUSE SUCH ACTION TO BE DEFENDED, AT ITS EXPENSE, BY COUNSEL REASONABLY SATISFACTORY TO DESIGNER, AND ALL CLAIMS AND DISPUTES AND OTHER MATTERS IN QUESTION AND SUBJECT OF RELATING TO THESE DOCUMENTS, SHALL BE REFERRED TO ARBITRATION BY AN ARBITRATOR MUTUALLY AGREABLE TO DESIGNER AND OWNER.



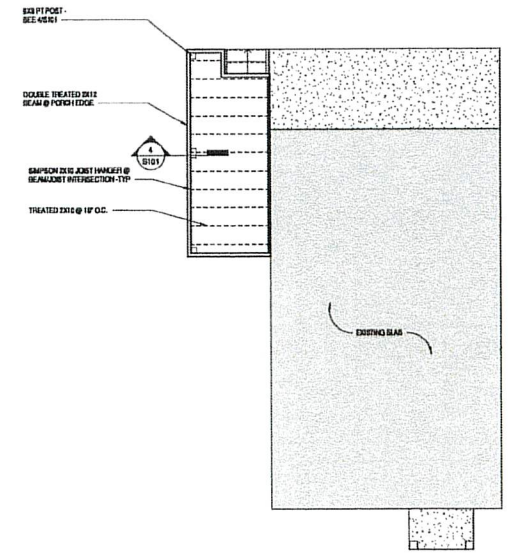
4 DECK BEAM TO POST  
 1 1/2" - 1'-0"



3 ROOF PLAN  
 1/4" = 1'-0"



2 1ST FLOOR CEILING LAYOUT  
 1/4" = 1'-0"



1 FLOOR FRAMING PLAN  
 1/4" = 1'-0"





308 WASHINGTON COTTAGE

SITE PLAN

308 WASHINGTON COTTAGE

60137522.000

EXISTING BUILDING

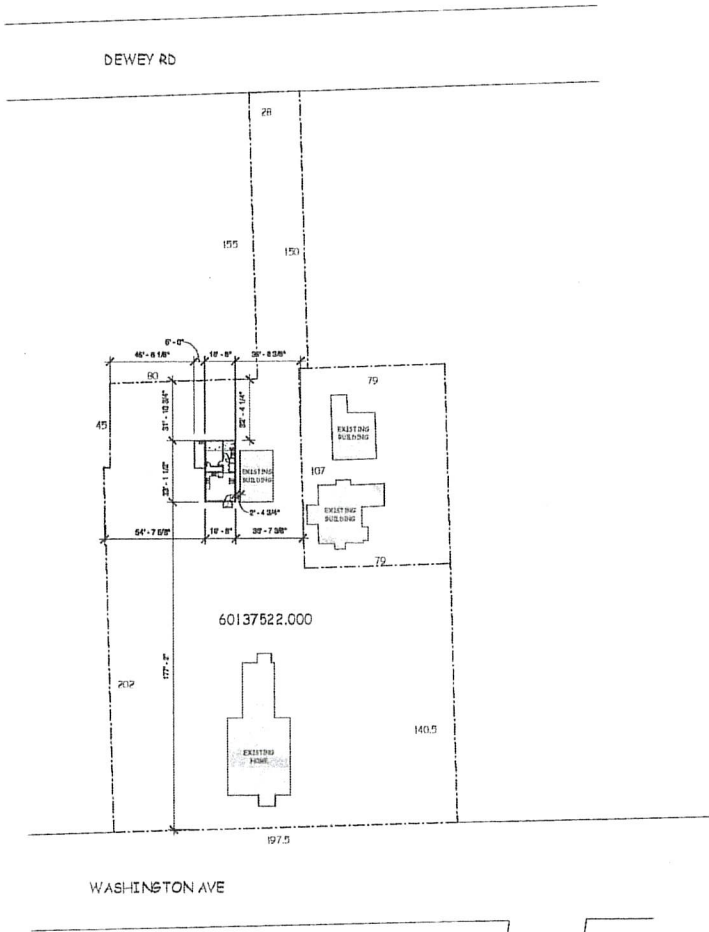
EXISTING BUILDING

EXISTING BUILDING

EXISTING HOME

WASHINGTON AVE

DEWEY RD



NOTE: CONTRACTOR TO FIELD VERIFY MEASUREMENTS SHOWN AND TO ADHERE TO ALL SETBACKS AND EASEMENTS. SEE OWNER PROVIDED LAND SURVEY FOR ANY MISSING INFORMATION.

1 RUSSELL SITE PLAN  
1" = 30'-0"



NUMBER 1400  
DATE 10/20/09  
DRAWN QV

A001

308 WASHINGTON COTTAGE  
24-020

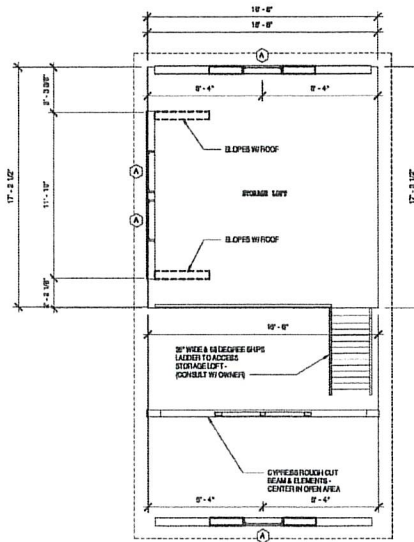
WINDOW SCHEDULE							
TYPE	WINDOW			REMARKS	TYPE		
	W	H	SILL			THK	MTL
A	2'-0"	8'-0"	2'-0" AFF	1 3/4"	TBD	TBD	MANTAIN MIN 2" SILL HEIGHT
B	2'-0"	8'-0"	1'-0" AFF	1 3/4"	TBD	TBD	
C	4'-0"	3'-0"	2'-0" AFF	1 3/4"	TBD	TBD	
D	4'-0"	1'-0"	8'-0" AFF	1 3/4"	TBD	TBD	

DOOR SCHEDULE			
Mark	WIDTH	HEIGHT	NOTES
1	3'-0"	8'-0"	EXT DOOR
2	2'-8"	8'-0"	
3	4'-0"	8'-0"	
4	2'-0"	8'-0"	HVAC DOOR
5	2'-0"	8'-0"	
6	2'-0"	8'-0"	
7	2'-4"	8'-0"	
8	6'-0"	7'-0"	SLIDING DOOR - SEE MFR SPECS

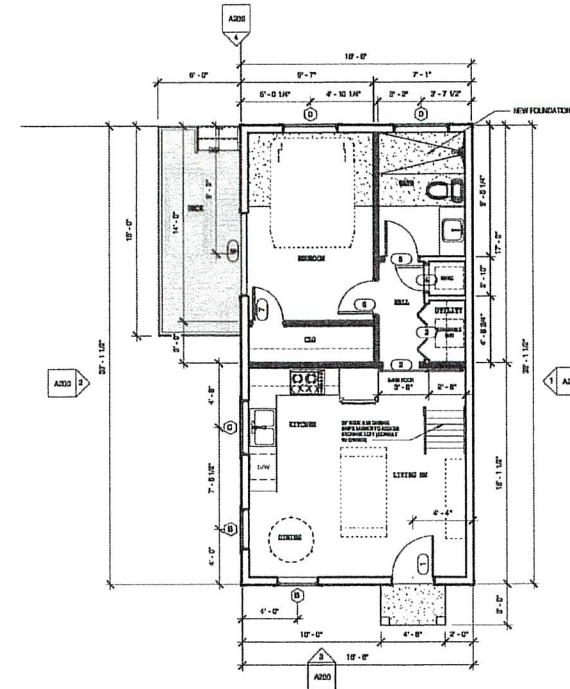
COTTAGE INFO:

FIRST FLOOR - 456 SF  
 FIRST FLOOR (ADDITION) 97 SF  
 LOFT (STORAGE) - 288 SF  
 DECK/PORCH: 85 SF

TOTAL HEATED/COOLED: 841 SF



2 BEARING  
1/4" = 1'-0"



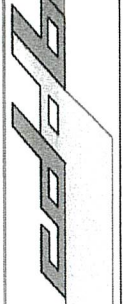
1 MAIN FLOOR  
1/4" = 1'-0"



300 WASHINGTON COTTAGE 4-21-18 (18)

cddbuild@gmail.com

FLOOR PLANS  
 300 WASHINGTON COTTAGE

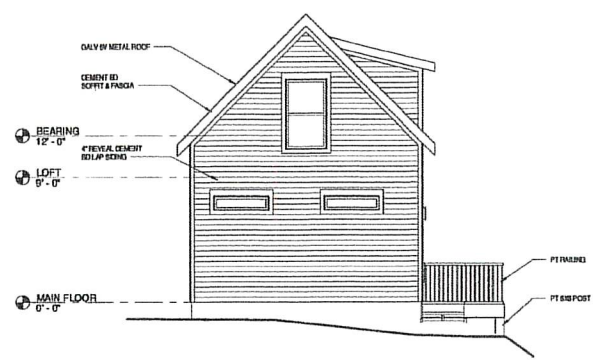
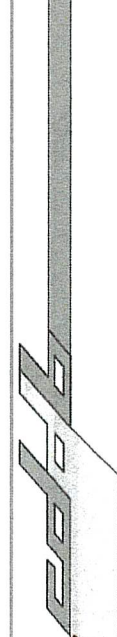


CORY DILLON DESIGN & BUILD LLC  
 438 DOOSE POINTE BLVD., BILOXI, MS 39201  
 228.209.7564 P

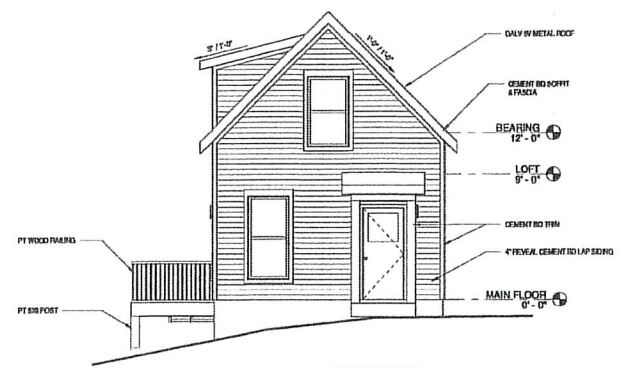
NUMBER 34-00  
 DATE 10/20/18  
 DRAWN VJG  
 CITY

**A110**

300 WASHINGTON COTTAGE 24-020



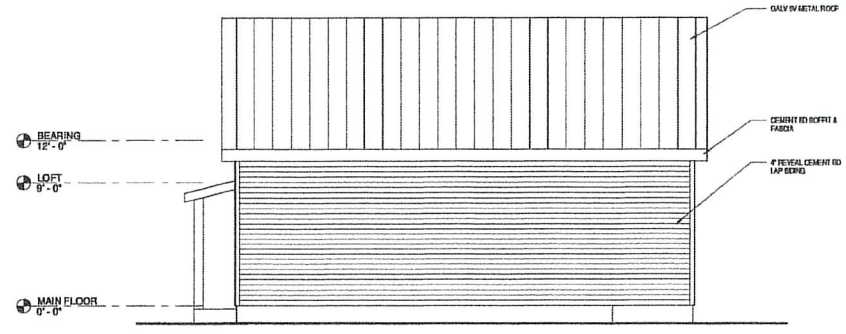
④ EAST ELEVATION  
 1/4" = 1'-0"



③ WEST ELEVATION  
 1/4" = 1'-0"



② NORTH ELEVATION  
 1/4" = 1'-0"

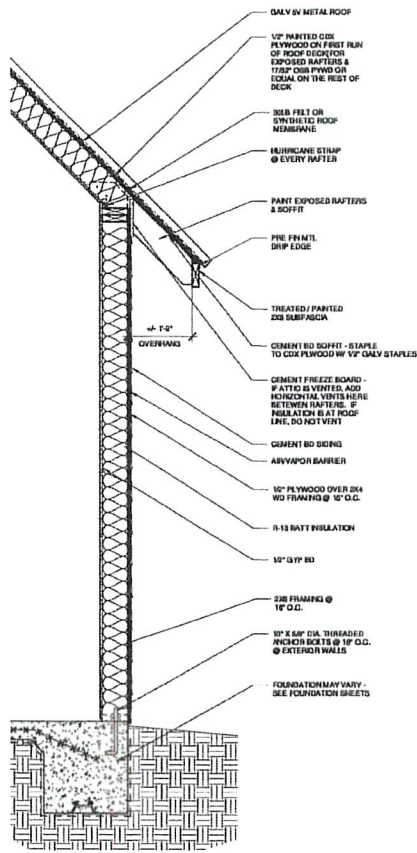


① SOUTH ELEVATION  
 1/4" = 1'-0"

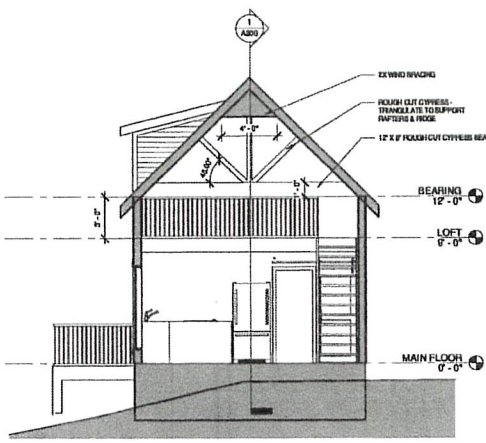
DESIGNER MAKES NO REPRESENTATIONS CONCERNING ACCURACY OF THESE DOCUMENTS AND THEIR COPIES & DERIVATIVES. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CODES, ORDINANCES, AND SAFETY REQUIREMENTS ARE MET AND CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS AND CHARGES INCURRED THEREIN.

OWNER SHALL INDEMNIFY AND HOLD DESIGNER HARMLESS FROM AND AGAINST ANY AND ALL DAMAGES, CLAIMS AND COSTS (INCLUDING ATTORNEY FEES, TRAVEL, TEST EXPENSES FOR DEATH, SICKLY OR DAMAGES TO PROPERTY OR PROPERTY ARISING FROM ANY DEFAULT BY DESIGNER IN THE PERFORMANCE OF ITS OBLIGATIONS UNDER THESE DOCUMENTS, OR BY ANY ACTS, OMISSIONS, OR NEGLIGENCE OF DESIGNER OR ITS AGENT AND EMPLOYEES.

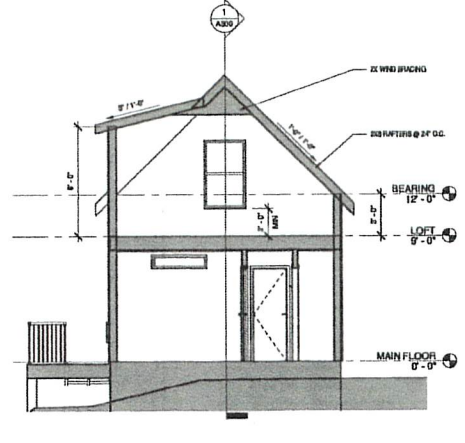
IF ANY ACTION IS BROUGHT AGAINST DESIGNER UPON ANY SUCH CLAIM, OWNER SHALL CHARGE SUCH ACTION BE DEFERRED, AT THE OPTION, BY COUNTER-CLAIM, TO THE EXTENT OF ANY AND ALL CLAIMS AND DAMAGES, REASONABLY SATISFACTORY TO DESIGNER, AND ALL CLAIMS AND DAMAGES AND OTHER MATTERS IN QUESTION ARISING OUT OF RELATION TO THESE DOCUMENTS, SHALL BE REFERRED TO ARBITRATION BY AN INSTITUTION MUTUALLY AGREEABLE TO DESIGNER AND OWNER.



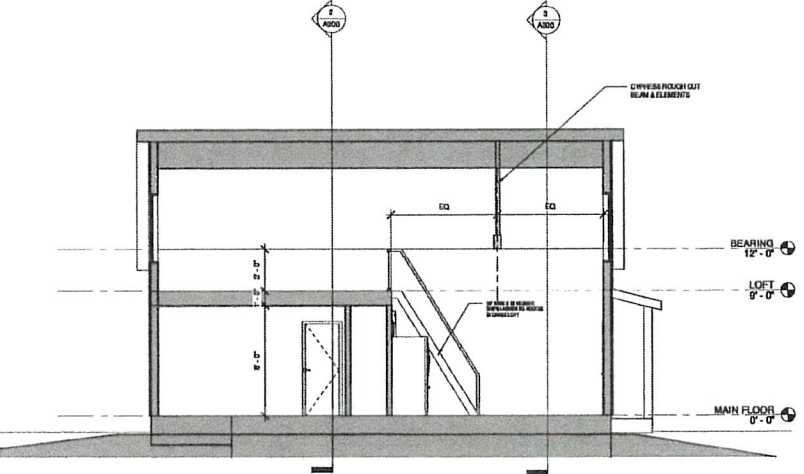
④ TYPICAL WALL SECTION  
1" = 1'-0"



③ SECTION 3  
1/4" = 1'-0"



② SECTION 2  
1/4" = 1'-0"

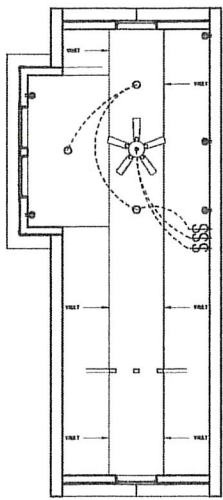


① SECTION 1  
1/4" = 1'-0"

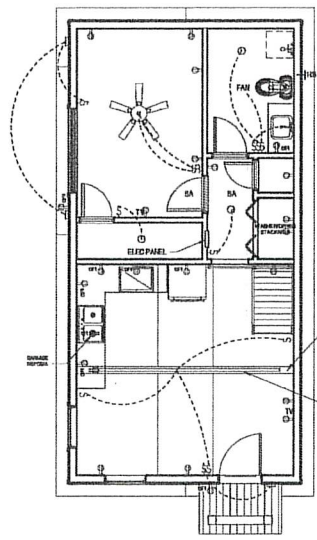
DESIGNER MAKES NO REPRESENTATIONS CONCERNING ACCURACY OF THESE DOCUMENTS AND THEIR CONTENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR NEIGHBORHOOD CODE, ORDINANCE, AND SAFETY REQUIREMENTS AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS AND EXPENSES ASSOCIATED THEREWITH.

OWNER SHALL INDEMNIFY AND HOLD DESIGNER HARMLESS FROM AND AGAINST ANY AND ALL DAMAGES, CLAIMS AND COSTS INCLUDING ATTORNEY'S FEES, PENALTIES AND FINES FOR NEGLIGENCE, QUALITY OR DEFECTS IN THE PERFORMANCE OF ITS OBLIGATIONS UNDER THESE DOCUMENTS, OR BY ANY ACTS, OMISSIONS, OR NEGLIGENCE OF DESIGNER OR ITS AGENT AND EMPLOYEES.

IF ANY ACTION IS BROUGHT AGAINST DESIGNER UPON ANY SUCH CLAIM, OWNER SHALL CHARGE SUCH ACTION BE DEFERRED, AT HIS EXPENSE, UNTIL CLAIM IS REASONABLY SATISFACTORY TO DESIGNER, AND ALL CLAIMS AND DEFENSES AND COUNTERCLAIMS IN CONNECTION WITH SUCH ACTION SHALL BE REFERRED TO ARBITRATION BY AN ARBITRATOR MUTUALLY AGREEABLE TO DESIGNER AND OWNER.



② STORAGE LOFT  
1/4" = 1'-0" NORTH



GENERAL NOTE:  
 (1) ELECTRICAL CONTRACTOR TO MEET LOCAL CODES  
 (2) SA - SMOKE ALARM  
 (3) P - RECESSED LIGHT  
 (4) H - HANGING LIGHT  
 (5) TV - CABLE TV LOCATION (VERIFY HEIGHT OF TV IN CONTINGENT)  
 (6) FAN - AIRVENT VENT TO OUTSIDE  
 (7) TANKLESS GAS WATER HEATER  
 (8) TRACK LIGHT LOCATIONS FOR FANING INSTALLER  
 (9) CONTRACTOR TO PROVIDE SPACE FOR ALL ELECTRICAL DEVICES TO BE INSTALLED AS SHOWN  
 (10) DIMMER SWITCH LOCATIONS TO BE INSTALLED AS NOTED  
 (11) ELECTRICAL METER LOCATION TO BE BY CONTRACTOR  
 (12) OUTSIDE FIBER COMPACTOR(S) LOCATED BY CONTRACTOR  
 (13) FANING ROOMS HAVE LIGHT RIGS UNLESS NOTED OTHERWISE.

OVERHEAD BEAM @ 12 BEARING HEIGHT  
 TRACK LIGHT BELOW BEAM

① ELECTRICAL PLAN - 1ST FLOOR  
1/4" = 1'-0" NORTH

CEDERBERG DESIGN & ARCHITECTURE, BUILDING LLC  
 1340 CALDWELL ROAD, SUITE 100, WASHINGTON, DC 20004-3681  
 202.229.7524 P

NUMBER 24-00  
 DATE 10/27/19  
 DWG

E100

308 WASHINGTON COTTAGE

24-020

# Previous Secondary Dwelling



# CURRENT SLAB









**CITY OF OCEAN SPRINGS  
COMMUNITY DEVELOPMENT AND PLANNING  
POST OFFICE BOX 1800  
OCEAN SPRINGS, MS 39566-1800  
228-875-4415**

**HISTORIC PRESERVATION COMMISSION REPORT**

**MEETING DATE:** May 19, 2025 (Special Call Meeting)

**APPLICANT:** Gaston Bordis

**CURRENT OWNER:** Gaston Bordis

**REQUESTED ACTION:** Approval of Certificate of Appropriateness to demolish existing house.

**DATE OF APPLICATION:** April 4, 2025

**LOCATION:** 208 Washington Ave  
Old Ocean Springs Historic District

**PARCEL NUMBER:** 60137516.000

**DESCRIPTION OF THE REQUEST:**

The applicant proposes to demolish the existing house due to extensive termite damage, also excessive moisture and mold.

**ADJACENT ZONING/LAND USE:**

**Subject Property: R-1 Low Density Single Family/single-family dwelling**

**North:** R-1 Low Density Single Family

**South:** R-1 Low Density Single Family

**East:** R-1 Low Density Single Family

**West:** R-1 Low Density Single Family



## **MS DEPT. OF ARCHIVES AND HISTORY RESOURCES INVENTORY:**

- **BRIEF DESCRIPTION:**

1.5-story, frame, 3-bay-wide (ww-d-ww) Craftsman gable-front Bungalow with a partial gable porch supported by tapered columns on masonry pedestals. The entry is offset left (north) and is a multi-light wood door. Windows are wood 1/1, 3/1 d-h-s in singles and pairs, sometimes with working and faux shutters. Other windows are wood 10-light casement. Features are shed dormers, knee braces, exposed rafter tails, gable windows, and a masonry chimney on the eave wall. It has brick piers, clapboards, and an asphalt shingle roof. A gable-roof addition is appended to the rear left (northeast) corner. The shed dormers were added post-1944.

- **HISTORICE INFORMATION:**

The McEvoy-McClure house was probably erected in 1900 by Harry P. Dunn, who acquired the property from Joseph Kotzum for \$800. The Dunn family lived at 208 Washington until 1911, when Robertson Palmer, a corporate lawyer and native of Illinois, purchased it for \$1400. Mr. Palmer sold it to Cyprien A. Montet and Dudley J. McEvoy in 1912 for \$2000. The McClures acquired 208 Washington in 1915. They are credited with remodeling it. The house stayed in possession of the McClure family until 1946. McClure was the post master and a bank cashier.

## **FINDINGS:**

- NR Status: Contributing
  - Ocean Springs Historic District Design Guidelines; Page 64
    - Contributing buildings: These buildings are essential to the district's sense of place and sustain the architectural and historic significance of the district.
- The Unified Development Code (UDC) Section 2.29.6.D.4; Page 90
  - Demolition. In considering an application for the demolition of a landmark or a resource within an historic district, the following shall be considered:
    - The individual historical or architectural significance of the resource.
    - The importance or contribution of the resource to the aesthetics of the district.
    - The difficulty or impossibility of reproducing such a resource because of its texture, design, material or detail.
    - The proposed replacement structure and the future utilization of the site.
- The applicant has provided the following information to support his request:
  - Insurance was denied by at least 7 companies due to the condition of the house.
  - Mississippi Official Wood Destroying Inspection Report: See attachments

- The existing home has excessive moisture and mold and is a health hazard.
- The applicant does plan to rebuild a single-family dwelling on the property if the demolition request is granted.

**PUBLIC FEEDBACK:**

None received as of April 25, 2025.

**POTENTIAL MOTION:**

To recommend **approval** of a COA to demolish the existing house located at 208 Washington Ave due to extensive termite damage and excessive moisture and mold.

– OR –

To recommend **denial** of a COA to demolish the existing house located at 208 Washington Ave due to extensive termite damage and excessive moisture and mold.



City of Ocean Springs  
Historic Preservation Commission  
1018 Porter Avenue / PO Box 1800 Ocean Springs, MS 39564  
(228) 875-4415

— CERTIFICATE OF APPROPRIATENESS APPLICATION —

**Application Date:** \_\_\_\_\_  
*[Applications are due by the 7th of each month for consideration the FOLLOWING month.]*

**APPLICATION FEE: \$51.00 – Cash, Check (Payable to CITY OF OCEAN SPRINGS), C/C – 3% fee**  
*\$1.00 fee is per Ordinance 2022-17 following requirements of Section 25-60-5 MS Code Annotated*

**\*\*\*\*\* APPLICANT MUST ATTEND HEARING \*\*\*\*\***

Property Address: 208 WASHINGTON AVE. OCEAN SPRINGS, MS

Property Owner(s): GASTON C. BORDIS IV AND APRIL BORDIS

Parcel ID Number: \_\_\_\_\_ Approximate Age of Home: 113 YEARS

**ACCESS:** Upon application submittal, City Officials and HPC Members are authorized to enter property to view proposal unless checked below.

**Check here** if City Officials and HPC members **DO NOT** have permission to enter property.

**Applicant [Check one]:**  Architect  Contractor  Owner  Other \_\_\_\_\_

Name: GASTON C BORDIS IV AND APRIL BORDIS

Address: 527 FRONT BEACH DR UNIT 19

City: OCEAN SPRINGS State: MS Zip: 39564

Phone: 228-249-2107 Email: cbordis@bordisdanas.com

**Property Owner [if Different]:**

Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

**DIRECTIONS:** Check box which best represents your request (more than one box may be checked), and **ATTACH** the corresponding checklist to help ensure a complete application.

- |   |   |
|---|---|
| <input type="checkbox"/> New Construction, Additions, Extensive Renovation / Repair | <input type="checkbox"/> Landscaping and Site Improvements (i.e. Fencing) |
| <input type="checkbox"/> Minor Renovation / Repair                                  | <input type="checkbox"/> Signage  |
| <input type="checkbox"/> Exterior Painting (Contributing Structures Only)           | <input checked="" type="checkbox"/> Demolition                            |



— CERTIFICATE OF APPROPRIATENESS APPLICATION —  
**DESCRIPTION OF REQUEST ATTACHMENT FOR:**

**DEMOLITION**

**NOTE:** Architectural plans and rendering are encouraged; if not available, roughly scaled and dimensional drawings will suffice. Documentation must be provided in a format that can be easily copied for the design process. Architectural drawing, construction details, landscape plans, etc., should be printed on paper no larger than 11" X 17". HPC is concerned with exterior features. Interior floor plans and features are not necessary.

**Required Attachments:**

- a.  Photographs of all sides of the structure to be removed;
- b.  Site plan showing locations of structures, fences, walls, walkways, and protected trees;
- c.  Provide a sketch showing intent for the property. In considering an application for the demolition of a landmark or resource with a historic district, the following shall be considered:
  1. The individual historical or architectural significance of the resource;
  2. The importance or contribution of the resource to the aesthetics of the district;
  3. The difficulty or impossibility of reproducing such a resource because of its texture, design, material, or detail; and
  4. The proposed replacement structure and the future utilization.

Description: ① DEMOLITION IS REQUESTED. THE HOME HAS  
EXTENSIVE TERMITE DAMAGE - REPORT ATTACHED.  
② HOME HAS EXCESSIVE MOISTURE AND MOLD  
AND IS A HEALTH HAZARD  
③ INSURANCE WAS DENIED BY AT LEAST 7 COMPANIES -  
PROOF WILL BE SUPPLIED - DUE TO CONDITION OF HOME  
④ PROPOSED PLAN FOR NEW CONSTRUCTION WILL BE SUPPLIED  
AS IT IS EXPECTED W/IN A FEW DAYS.

— Attach Additional Sheets if Needed —

# MISSISSIPPI OFFICIAL WOOD DESTROYING INSECT REPORT

Inspection Co.: BPC Services  
 Address: P.O. BOX 1877  
 City/State/Zip: OCEAN SPRINGS, MS 39564  
 Phone: 833-305-4229

Case Number (VA/FHA/Other): 869  
 Inspector: Alan Weber  
 ID Number: 48887 License Number: 46884  
 Inspection Date: 3-25-25

Party Requesting Inspection: Chuck Bonds  Purchaser  Seller  Agent  
 Owner/Seller: Chuck Bonds Structure(s) Inspected: House  
 Address: 104 Washington Ave Ocean Springs MS 39564

Report Forwarded To:  Title Company and/or Mortgage Company  Purchaser  Seller  Agent

List all obstructed or inaccessible areas as listed on Page 2 - SECTION C, 1-4; SEE REVERSE

Conditions conducive to wood destroying insect infestation:  Yes  No If yes, explain (Conditions Conducive to wood destroying insects infestation as defined on Page 2 - SECTION D): SEE REVERSE

Inspection Reveals Visible Evidence of: (Check Each Column Yes or No)	Active Infestation		Previous Infestation		Previous Treatment		Visible Insect Damage	
	Yes	No	Yes	No	Yes	No	Yes	No
Subterranean Termites	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Drywood Termites	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Wood Borer Beetles-specify	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Carpenter Bees	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Carpenter Ants	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Remarks / Additional Findings: BPC Services is not responsible for insect and / or damage in areas that are inaccessible for inspection or where conducive conditions exist. See statement of Pest Control operator on reverse!

Structure previously treated by this company:  Yes  No  
 This company has current contract in force:  Yes  No Expiration Date: \_\_\_\_\_ Contract Transferable:  Yes  No  
 Date of original treatment: \_\_\_\_\_ Type of insect treatment contract: \_\_\_\_\_

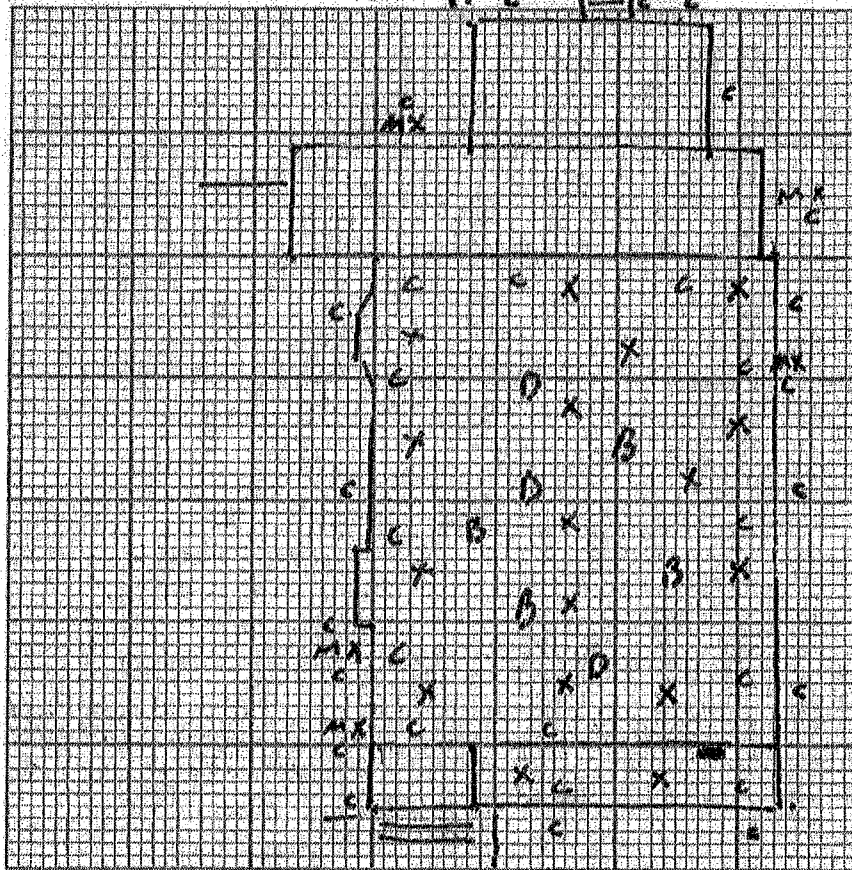
Buyer should acquire a copy of this contract for terms and type of coverage.

## GRAPH MUST BE COMPLETED FOR EVERY STRUCTURE INSPECTED.

Not to Scale

### KEY SYMBOLS

- = Subterranean Termite Activity
- X = Subterranean Termite Damage
- = Wood Boring Beetle Activity
- B = Beetle Damage
- = Carpenter Ant Activity
- CA = Carpenter Ant Damage
- = Carpenter Bee Activity
- CB = Carpenter Bee Damage
- = Drywood Termite Activity
- D = Drywood Termite Damage
- C = Conditions Conducive To Wood Destroying Insects



**IMPORTANT-THIS GRAPH IS NOT DRAWN TO SCALE AND ANY EVIDENCE LISTED IS LOCATED IN GENERAL LOCATIONS READ AND UNDERSTAND BOTH SIDES OF THIS REPORT.**

Additional Comments: See statement of pest control operator on reverse side. By accepting this report, seller / buyer relieves BPC Services of any and all liability from past or present wood destroying insect / organism damage from the inspected structure arising from any area that was inaccessible at the time of the inspection or listed as a conducive condition.

Inspector's Signature: Alan Weber Date: 3-25-25  
 License or Permit Holder's Signature of Approval: Alan Weber Date: 3-25-25  
 Notice of inspection was posted at or near:  Access Opening  Water Heater  Beneath Kitchen Sink Date Posted: 3-27-25

I HAVE RECEIVED THE ORIGINAL OR A LEGIBLE COPY OF THIS FORM, HAVE READ, AND UNDERSTAND SAME.

Signature of Individual Purchasing Property: \_\_\_\_\_ Date: \_\_\_\_\_

(SEE REVERSE SIDE)

Page 1 of 2

**STATEMENT OF PEST CONTROL OPERATOR**

- A. THIS REPORT CERTIFIES AS TO THE PRESENCE, ABSENCE, PREVIOUS INFESTATION AND DAMAGE CAUSED BY WOOD DESTROYING INSECTS IN THE VISIBLE AND ACCESSIBLE AREAS OF A WOODEN STRUCTURE. THIS REPORT IS MADE ON THE BASIS OF WHAT WAS VISIBLE AND ACCESSIBLE AT THE TIME OF THE INSPECTION (HEREINAFTER DEFINED AS "THE DATE INSPECTION WAS PERFORMED") FOR THE STRUCTURE(S) LISTED. DETACHED GARAGES, SHEDS, LEAN-TOS, FENCES, OR OTHER BUILDINGS ON THE PROPERTY WILL NOT BE INCLUDED IN THIS INSPECTION REPORT UNLESS SPECIFICALLY NOTED. THIS REPORT IS NOT A WARRANTY AS TO ABSENCE OF WOOD DESTROYING INSECTS, OR HIDDEN DAMAGE, OR THE PRESENCE OF ALL CONDITIONS CONDUCTIVE TO WOOD DESTROYING INSECT INFESTATIONS. ANY EVIDENCE OF CONDITIONS SURROUNDING TOXIC MOLD, MILDEW OR FUNGUS WILL NOT BE PART OF THIS REPORT. THE CUSTOMER SHOULD HAVE A QUALIFIED EXPERT INSPECT THE BUILDING FOR ANY MOLD CONCERNS. IF VISIBLE EVIDENCE OF ACTIVE OR PREVIOUS INFESTATION OF WOOD DESTROYING INSECTS COVERED BY THIS REPORT (I.E. SUBTERRANEAN TERMITES, DRYWOOD TERMITES, RE-INFESTING WOOD BORING BEETLES, CARPENTER ANTS AND CARPENTER BEES) IS REPORTED, IT SHOULD BE ASSUMED THAT SOME DEGREE OF DAMAGE IS PRESENT. IF VISIBLE DAMAGE IS REPORTED, IT DOES NOT IMPLY THAT DAMAGE SHOULD BE REPAIRED OR REPLACED. THIS REPORT IS NOT A STRUCTURAL DAMAGE REPORT. THE ABOVE NAMED FIRM'S INSPECTORS ARE NOT ENGINEERS OR BUILDERS, AND YOU MAY WISH TO CALL A QUALIFIED ENGINEER OR EXPERT IN THE BUILDING TRADE TO ASCERTAIN THEIR OPINION AS TO WHETHER THERE IS STRUCTURAL DAMAGE TO THIS PROPERTY AND IF CORRECTIVE ACTION SHOULD BE PERFORMED BY A QUALIFIED BUILDING EXPERT. IF COMPANY PERFORMING INSPECTION DOES NOT HAVE CURRENT WOOD DESTROYING INSECT TREATMENT CONTRACT IN FORCE ON PROPERTY NOTED ON THIS FORM, THIS INSPECTION DOES NOT COVER ANY REPAIR OF CONDITION OR DAMAGE, OR TREATMENT OF AREA WHICH WAS NOT VISIBLE AND ACCESSIBLE AT TIME OF INSPECTION, BUT WHICH MAY BE REVEALED IN THE COURSE OF REPAIR OR REPLACEMENT WORK. IF CURRENT WOOD DESTROYING INSECT TREATMENT CONTRACT IS IN FORCE, WARRANTY IS BASED ON THE TERMS OF TREATMENT CONTRACT.**
- B. THIS REPORT IS NOT AN OPINION COVERING AREAS THAT ARE ENCLOSED OR INACCESSIBLE, OR OF ANY PORTION OF THE STRUCTURE IN WHICH INSPECTION WOULD NECESSITATE REMOVING OR DEBRACING ANY PART OF THE STRUCTURE. SECTION B (1-5) LIST EXAMPLES OF OBSTRUCTED OR INACCESSIBLE AREAS, BUT NOT LIMITED TO, THAT MAY BE COMMON TO STRUCTURES THAT WILL NOT BE LISTED ON PAGE 1 OF THIS REPORT AND/OR IN ADDITIONAL COMMENTS:**
1. JOISTS HIDDEN (a) suspended ceiling (b) fixed ceiling (c) insulation (d) floor over joists
  2. WALL COVERINGS (a) paneling (b) dry wall (c) plaster (d) tile (e) cabinets (f) shelving (g) wallpaper (h) inaccessible bath trap
  3. FLOOR COVERINGS (a) tile (b) carpet (c) rugs (d) linoleum (e) built-ins
  4. ROOF RAFTERS HIDDEN (a) suspended ceiling (b) fixed ceiling (c) insulation
  5. RAISED FLOORING (a) flooring elevated with sleepers beneath
- C. THIS REPORT IS NOT AN OPINION COVERING AREAS THAT ARE ENCLOSED OR INACCESSIBLE, OR OF ANY PORTION OF THE STRUCTURE IN WHICH INSPECTION WOULD NECESSITATE REMOVING OR DEBRACING ANY PART OF THE STRUCTURE, OR REMOVING OR MOVING ITS CONTENTS. SECTION C (1-4) LIST EXAMPLES OF OBSTRUCTED OR INACCESSIBLE AREAS, BUT NOT LIMITED TO, THAT (IF PRESENT) ARE REQUIRED TO BE LISTED ON PAGE 1 OF THIS REPORT AND/OR IN ADDITIONAL COMMENTS:**
1. PERSONAL POSSESSIONS (a) stored material (b) boxes (c) pictures (d) clothing (e) furniture (f) appliances
  2. EXTERIOR (a) dense shrubbery (b) siding (c) window well covers (d) planters (e) brick and steps below the soil
  3. PORCH (a) no access or entry beneath floor surface (b) debris
  4. ADULT ITEMS (a) standing water (b) debris (c) firewood (d) no access or entry (e) absence of safe or stable access (f) inaccessible attic (g) leaking roof (h) faulty plumbing (i) earth-wood contact (j) wooden decks (k) hidden aspiration joints (l) less than 18 inches of clearance
- D. CONDUCIVE CONDITIONS INCREASE THE LIKELIHOOD OF WOOD DESTROYING INSECT AND ORGANISM ACTIVITY. CONDUCIVE CONDITIONS LISTED ON THIS REPORT ARE ONLY IN AREAS THAT WERE VISIBLE AND ACCESSIBLE AT THE TIME OF THE INSPECTION. THE FOLLOWING IS A LIST OF CONDUCIVE CONDITIONS LIMITED TO THIS REPORT THAT (IF PRESENT) MUST BE LISTED ON PAGE 1 OF THIS REPORT AND/OR IN ADDITIONAL COMMENTS:**
1. STANDING WATER
  2. POOR VENTILATION
  3. VEGETATION OR VINES CLOSH OR ON STRUCTURE
  4. CRACKS IN FOUNDATION
  5. LEAKS
  6. WOOD TO GROUND CONTACT
  7. HIGH SOIL (exposed brick, stone, or Exterior Insulation and Finishing System (EIFS) into the ground, see examples)
  8. MULCH, LANDSCAPE TIMBERS, STUMP OR ROOTS AGAINST OR UNDER THE STRUCTURE
  9. VISIBLE WATER DAMAGE
  10. VISIBLE MOISTURE
  11. VISIBLE WOOD ROT/FUNGUS
- E. VISUAL EVIDENCE OF PREVIOUS TREATMENT IS DEFINED AS VISUAL EVIDENCE OF PREPARATION FOR TREATMENT. SOME EXAMPLES INCLUDE: DRILL HOLES IN MASONRY VOIDS, DRILL HOLES IN SLABS OR FLOORING, TRENCHING OR TRENCHING AND RODDING AROUND PERIMETER OR IN CRAWL SPACES OR PRESENCE OF TERMITE BAITING STATIONS. IF COMPANY PERFORMING THIS INSPECTION DID NOT PREVIOUSLY TREAT THIS STRUCTURE, NO STATEMENT IS MADE AS TO WHETHER THE STRUCTURE HAS EVER BEEN TREATED, OR IF TREATED, WAS TREATED CORRECTLY.**
- F. NEITHER I NOR THE COMPANY FOR WHICH I AM ACTING HAVE HAD, PRESENTLY HAVE, OR CONTEMPLATE HAVING ANY INTEREST IN THE PROPERTY. I DO FURTHER STATE THAT NEITHER I NOR THE COMPANY FOR WHICH I AM ACTING IS ASSOCIATED IN ANY WAY WITH ANY PARTY TO THIS TRANSACTION UNLESS FULL DISCLOSURE OF ANY KNOWN ASSOCIATION IS PRINTED IN THE ADDITIONAL COMMENTS SECTION OF THIS FORM.**

**PRIVACY ACT INFORMATION - THE INFORMATION REQUESTED ON THIS FORM WILL BE USED FOR EVALUATING THE PROPERTY FOR A VA OR HUD INSURED LOAN. ALTHOUGH THE BORROWER IS NOT REQUIRED BY LAW TO PROVIDE THIS INFORMATION, FAILURE TO PROVIDE IT CAN RESULT IN REJECTION OF THE PROPERTY AS SECURITY FOR THE LOAN. THE INFORMATION COLLECTED WILL NOT BE DISCLOSED OUTSIDE VA OR HUD EXCEPT AS PERMITTED BY LAW. VA AND HUD ARE AUTHORIZED TO REQUEST THIS INFORMATION BY STATUTE (38 U.S.C. 1510(d) (4) AND 12 U.S.C. 1701 OF SEQ.)**

**ADDITIONAL COMMENTS (If additional pages are needed for comments, note number of pages added in comments and attach):**

**Conducive Conditions:** *Soil Above: Brick, Stucco, Porch, Block, Slab, Wood to Ground Contact, Air: Moisture Damage*

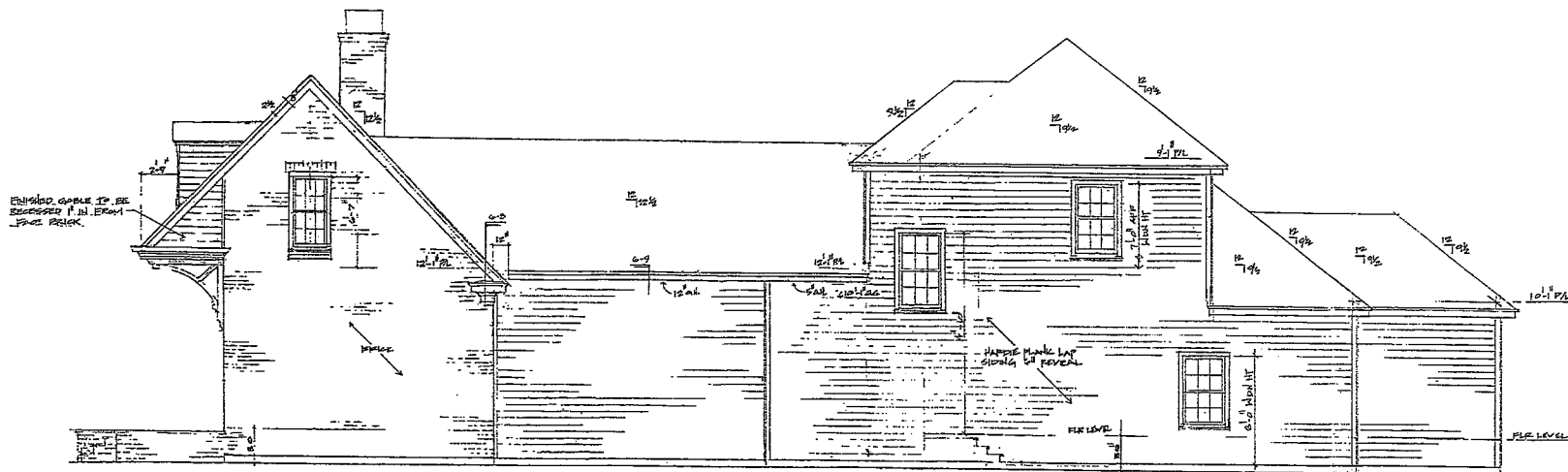
**Inaccessible Areas:** *Expanded Joints, Masonry Ledges, Voids, Planters of Area - No Access, Area with Stained Wood - Floor - Wall Coverings, Area Under Vapor Barrier.*

**Detail Legend**

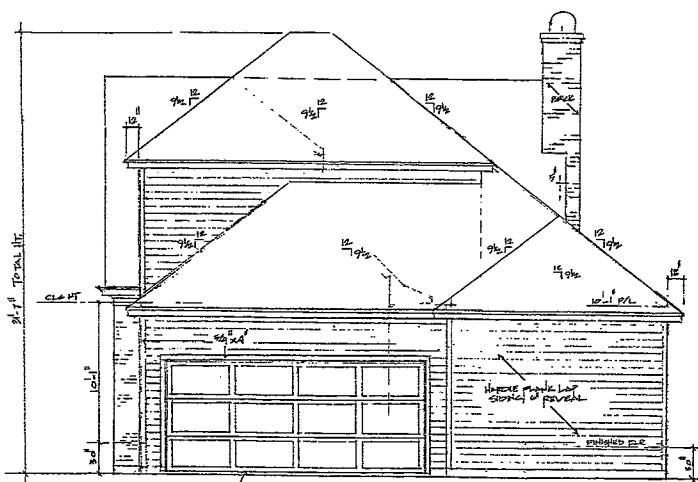
When specific architectural details have been designed, section cut details are tagged (e.g. S-2) to correspond to the illustrated construction detail.

Page Number	Detail Number
8-2	S-2

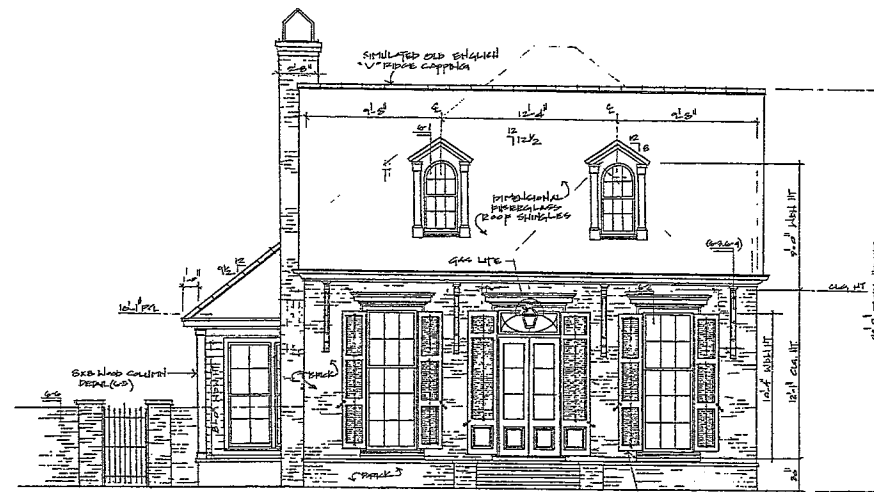
Flagged Detail Example



RIGHT ELEVATION



REAR ELEVATION



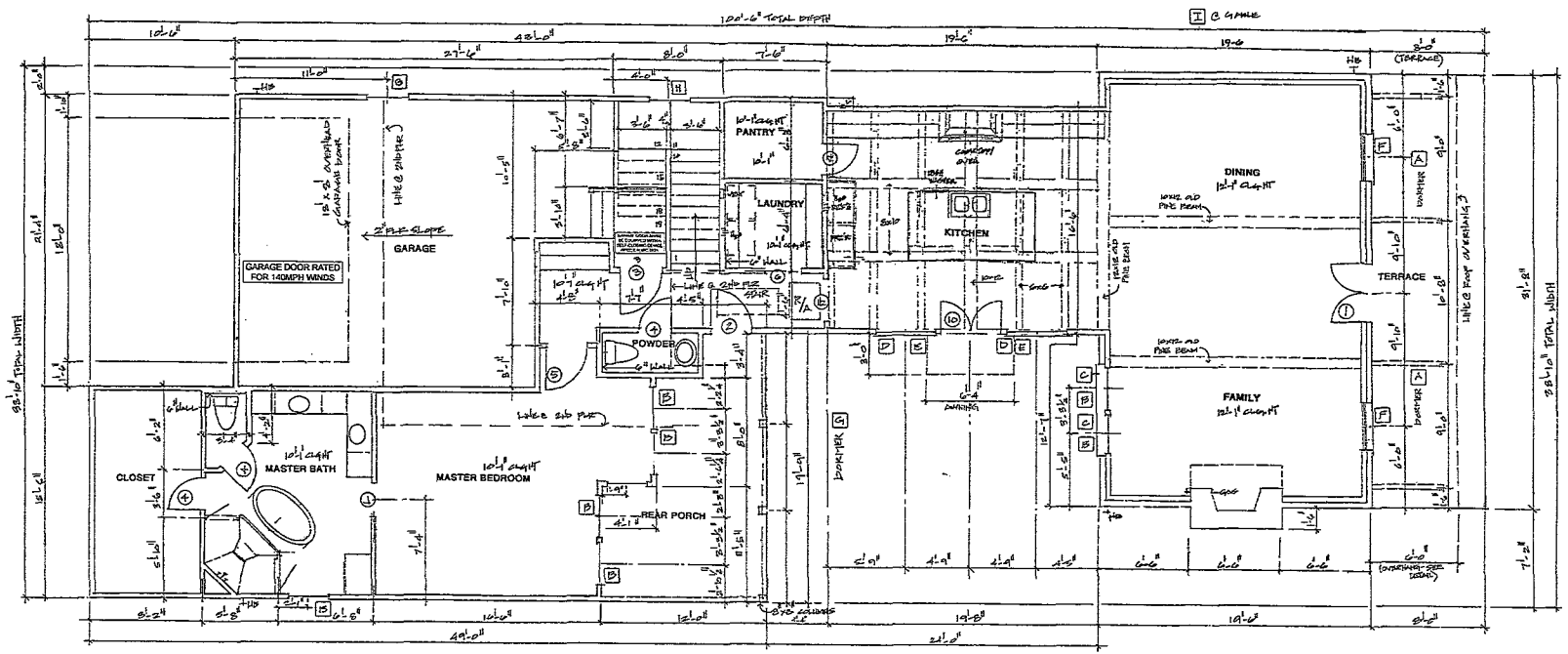
FRONT ELEVATION

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<p>ANDY McDONALD DESIGN GROUP 985.845.0098 www.andymcdonaldsdesign.com</p>	Plan No.: 2386/3106
	Scale: 1/4" Equals 1'-0"
	Page No.: 1 OF 7

**SQUARE FOOTAGE**

LIVING AREA FIRST FLOOR	1536
LIVING AREA SECOND FLOOR	500
OPEN LIVING AREA	2384
CLOSET & STORAGE	531
TERRACE	181
TOTAL AREA	3106
TERRACE	253



FIRST FLOOR

EXTERIOR & LOAD BEARING  
WALLS OVER 10 FEET  
TO BE 2X6 CONSTRUCTION

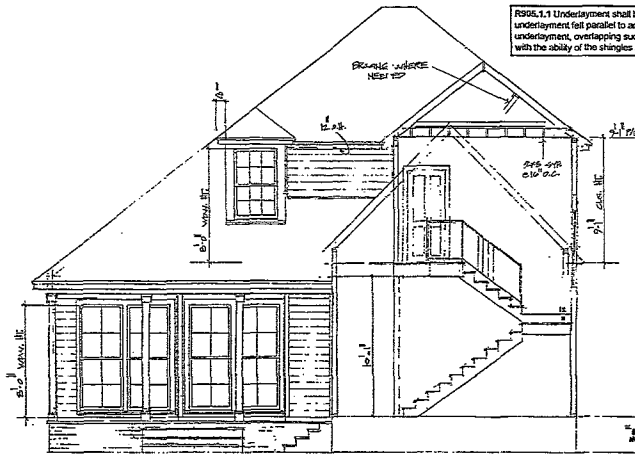
ATTIC ACCESS INSULATED  
INSULATE HOT & COLD WATERLINES IN  
UNCONDITIONED ATTIC & CRAWLSPACES

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**IMPORTANT NOTES**  
 The owner is responsible for obtaining all necessary permits and approvals from the local building department. The contractor is responsible for obtaining all necessary permits and approvals from the local building department. The contractor is responsible for obtaining all necessary permits and approvals from the local building department.

ANDY McDONALD ARCHITECT  
 985.845.0098  
 www.andymcdonaldsdesign.com

Plan No.: 2386/3106  
 Scale: 1/4" Equals 1'-0"  
 Page No.: 2 OF 7

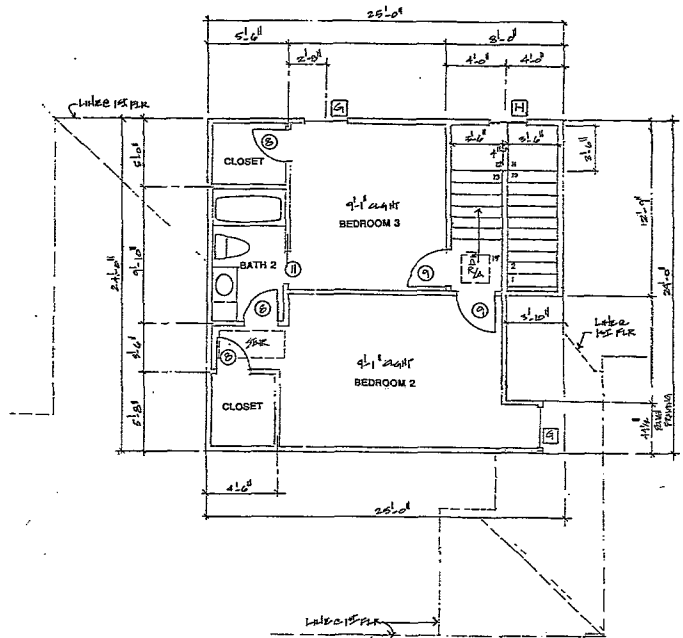


RS06.1.1 Underlayment shall be two layers applied in the following manner: apply a 19-inch strip of underlayment felt parallel to and starting at the eaves. Starting at the eaves, apply 36-inch-wide sheets of underlayment, overlapping successive sheets 19 inches. Distortions in the underlayment shall not interfere with the ability of the shingles to seat. End laps shall be 4 inches and shall be offset by 6 feet.

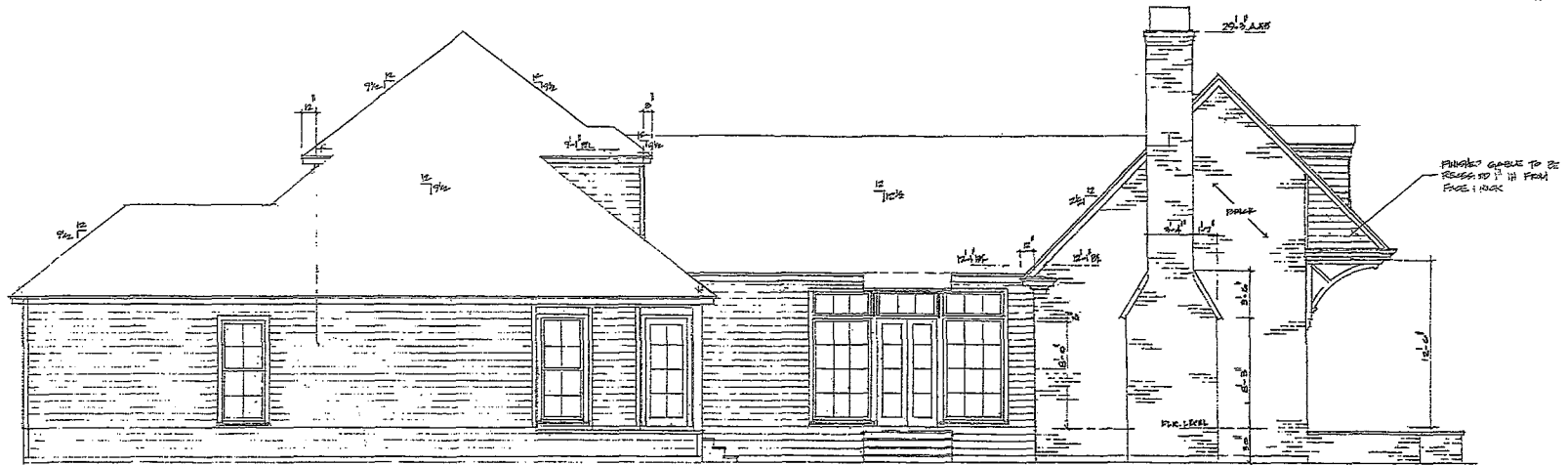
**CROSS SECTION**

Residence must comply with the following foundation requirements as per the 2021 IRC.

Chimney:	R - 38	FOUNDATION
Walls:	R - 13	BY OTHERS
Floors:	R - 13	



**SECOND FLOOR PLAN**



**LEFT ELEVATION**

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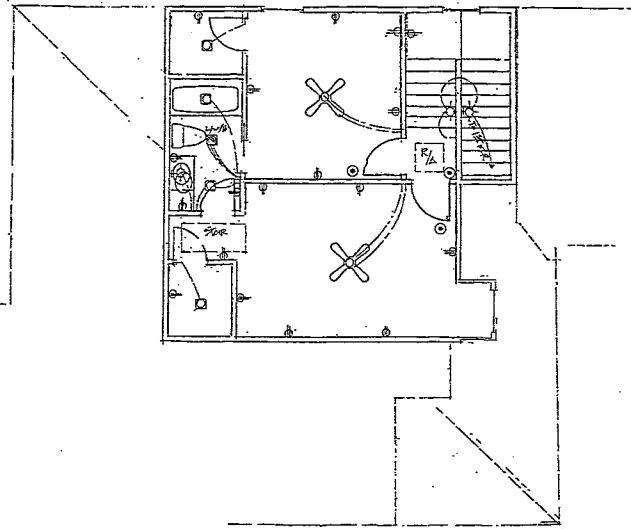
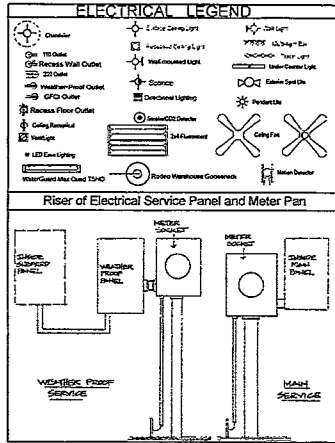
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**IMPORTANT NOTES**

Checklist and other general building details. Always consult the local building department for the correct interpretation of the International Building Code and other applicable codes. Plans may be amended based on zoning and requirements of local building departments. The responsibility of the contractor is to ensure compliance with all applicable codes and regulations. Any necessary permits must be obtained prior to construction.

 <b>ANDY McDONALD</b> ARCHITECT	Plan No.: 2386/3106
	Scale: 1/4" Equals 1'-0"
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**ELECTRICAL NOTES - IFC 2021 / NEC 2020 ed.**  
 (SIZE AND CAPACITY TO BE DETERMINED BY OWNER OR CONTRACTOR OR ELECTRICAL ENGINEER.)

EP01.2.1 Spacing. - Receptacles shall be installed so that no point measured horizontally along the floor line of any wall is more than 6 feet (1829 mm) from a receptacle outlet.

EP01.2.3 Floor receptacles. Receptacle outlets in floors shall not be counted as part of the required number of receptacle outlets except where located within 18 inches (457 mm) of the wall.

EP01.2.4 Countertop receptacles. Receptacles installed for countertop surfaces as specified in Section EP01.4 shall not be considered as the receptacles required by Section EP01.2.

EP01.4.2 Island counter top minimum one receptacle

EP02.1 Bathroom receptacles - 125 Volt, single-phase 15 and 20 ampere receptacles with ground-fault circuit-interrupter protection.

EP02.2 Garage and accessory building receptacles - 125 Volt, single-phase 15 and 20 ampere receptacles with ground-fault circuit-interrupter protection.

EP02.3 Outdoor receptacles - 125 Volt, single-phase 15 and 20 ampere receptacles with ground-fault circuit-interrupter protection.

EP02.4 Kitchen receptacles - 125 Volt, single-phase 15 and 20 ampere receptacles with ground-fault circuit-interrupter protection.

EP02.7 Laundry, utility and car port receptacles - 125-volt, single-phase, 15- and 20-ampere receptacles that are located within 6 feet (1829 mm) of the outside edge of a sink shall have ground-fault circuit-interrupter protection for personnel. Receptacle outlets shall not be installed in a face-up position in the work surfaces or countertops. (210.8(A)(7))

EP02.16 Arc-fault circuit-interrupter protection Branch circuits that supply 120-volt, single-phase, 15- and 20-ampere outlets installed in kitchens, family rooms, dining rooms, living rooms, parlors, libraries, dens, bedrooms, sun-rooms, recreation rooms, closets, hallways, laundry areas and similar rooms or areas shall be protected by any of the following: (210.12(A))

EP01.7 Outdoor outlets shall be installed at the front and back of the dwelling.

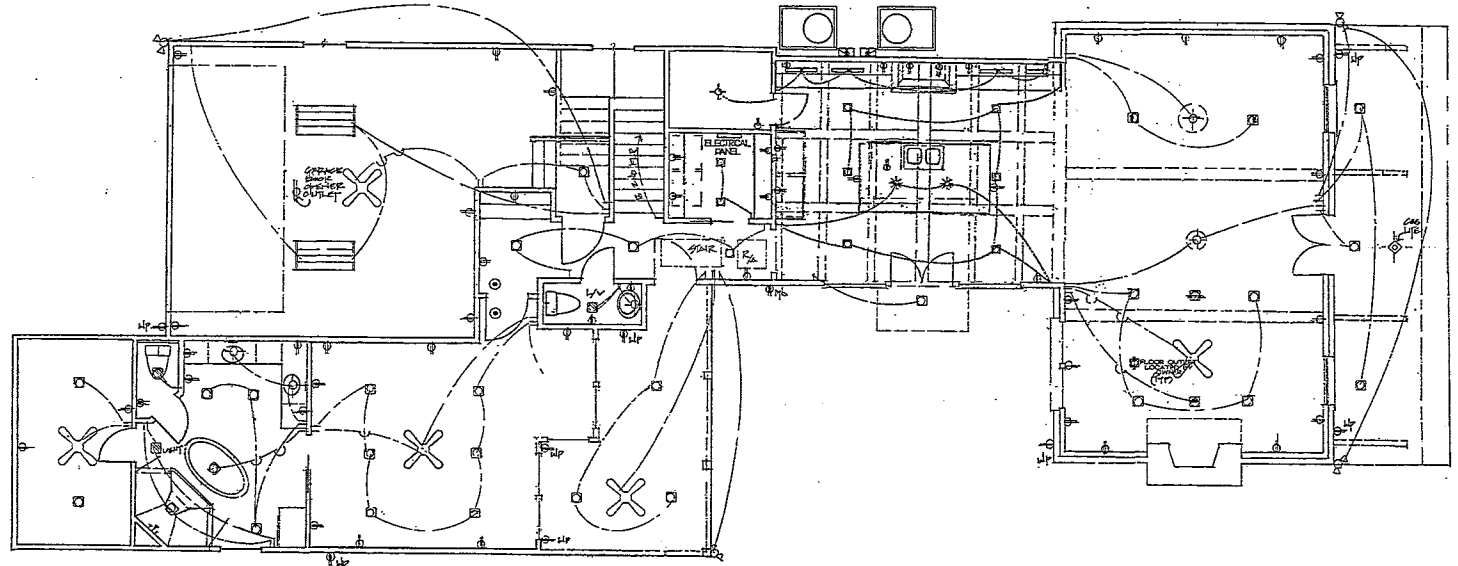
R01.4.3 Smoke alarms shall be installed in the following locations:

1. In each sleeping room.
2. Outside each separate sleeping area in the immediate vicinity of the bedrooms.
3. On each additional story of the dwelling, including basements and habitable attics and not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
4. Smoke alarms shall be installed not less than 3 feet (914 mm) horizontally from the door or opening of a bathroom that contains a bathtub or shower unless this would prevent placement of a smoke alarm required by Section R314.3.

R01.5 Carbon monoxide alarm - Approved carbon monoxide alarm shall be installed outside each bedroom in dwelling units within which fuel-fired appliances.

R272.1 Access panel shall be provided for circulation pumps in accordance with the fixture or pump manufacturer's installation instructions.

1. Branch service to be \_\_\_\_\_ Circuit \_\_\_\_\_ Ampere
2. Service to be #2 Copper from meter to panel.
3. Panel grounded by #4 grounding rod in accordance with Section 250 of the National Electric Code
4. Electrical disconnects at all conditioning cond. Units
5. A.C. Panel list:
  - One 15 ampere branch circuit for each 600 Sq. Ftg. Lighting and general purpose receptacles.
  - Two 20 Ampere branch circuit for small appliances
  - One 20 Ampere branch circuit for laundry
  - One branch circuit for oven
  - One branch circuit for cook top
  - One branch circuit for A/C and heating each install 110 Volt receptacle in attic
  - Install light in office with switch at access point
  - Kitchen hood must vent to outside
  - Microwave recirculating ventilation.



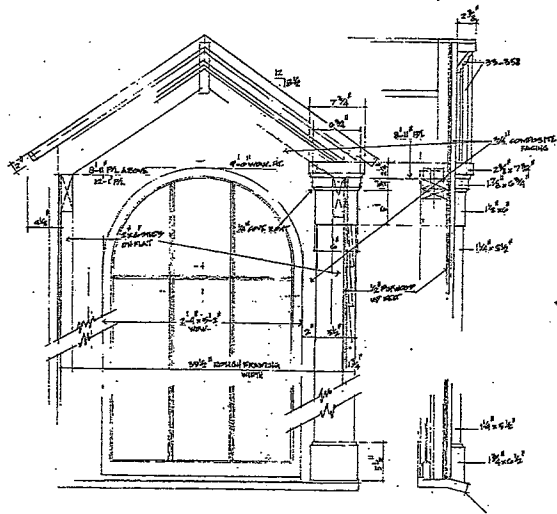
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**IMPORTANT NOTES**  
 These plans are prepared by Andy McDonald, a Licensed Professional Engineer, and are subject to the provisions of the National Electrical Code and the National Electrical Safety Code. Any other laws, codes, or regulations that apply to the project shall be followed. Responsibility shall be assumed by the client for any errors or omissions not specifically noted in these plans.

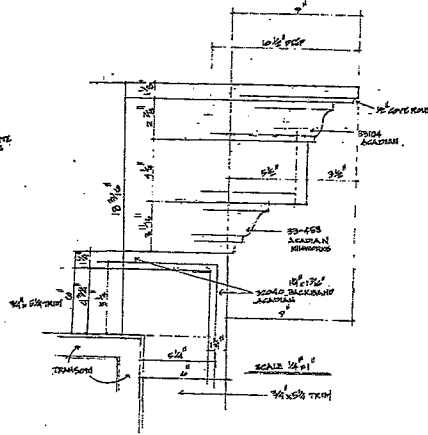
ELECTRICAL PLAN

ANDY MCDONALD 985.845.0098 <a href="http://www.andymcdonaldsdesign.com">www.andymcdonaldsdesign.com</a>	Plan No.: 2386/3106
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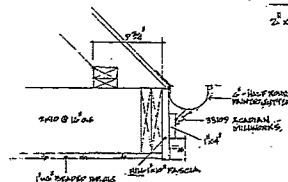




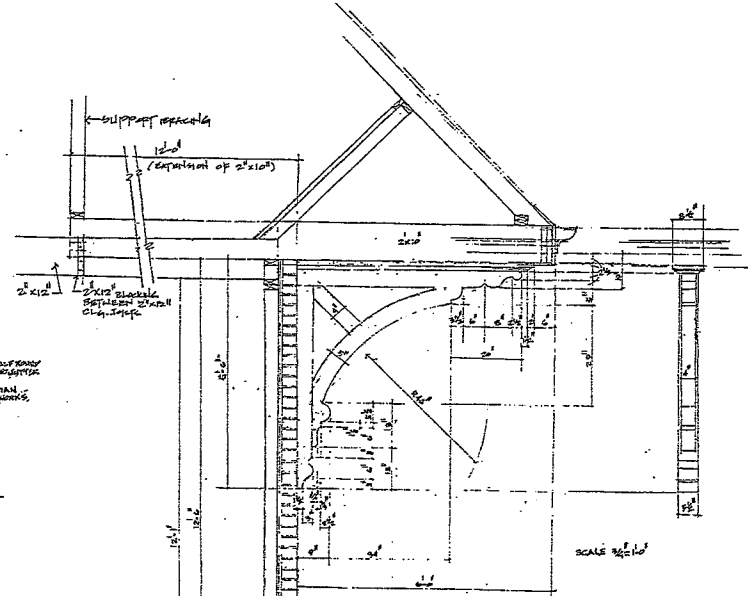
DORMER  
6-1



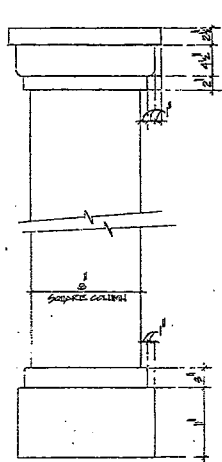
WINDOW  
PEDIMENT  
SCALE 3/8"=1'-0"  
6-2



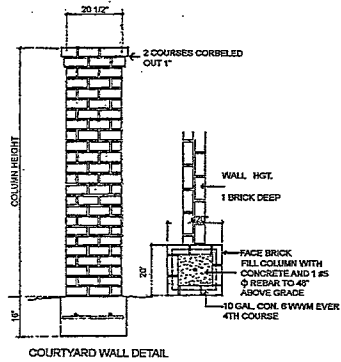
TERRACE  
FASCIA & SOFFIT  
6-3



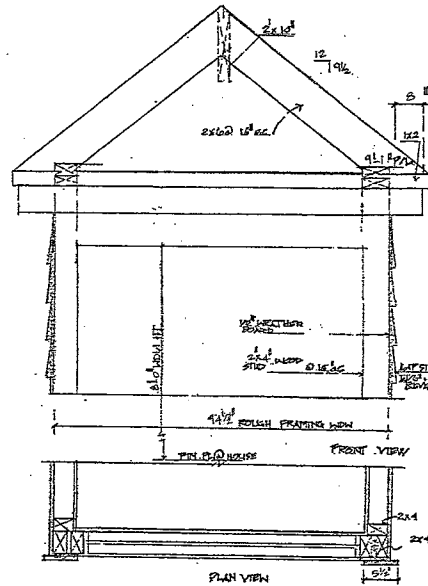
BRACKET  
6-4



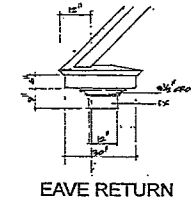
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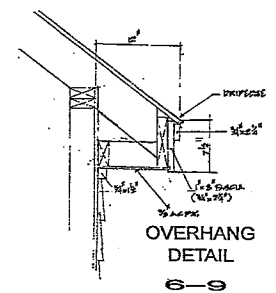
6-6



6-7



EAVE RETURN  
6-8



OVERHANG  
DETAIL  
6-9

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**WINDOW NOTES IRC 2021/NEC 2020 ed.**

**IRC21.1** Inhabitable rooms, habitable rooms shall have an approved glazing area of not less than 8 percent of the floor area of the room. Glazing area shall be determined by the net area of the glazing, including the area of the window frame, but excluding the area of the window sill, the area of the window head, and the area of the window jamb. The glazing area shall be determined by the net area of the glazing, including the area of the window frame, but excluding the area of the window sill, the area of the window head, and the area of the window jamb.

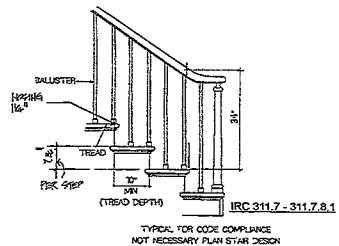
**IRC21.2** Glazing shall be installed in accordance with the manufacturer's instructions. Glazing shall be installed in accordance with the manufacturer's instructions. Glazing shall be installed in accordance with the manufacturer's instructions. Glazing shall be installed in accordance with the manufacturer's instructions.

**WINDOW SCHEDULE**  
ALL WINDOW DIMENSIONS SHOWN ARE SASH DIMENSIONS NOT FINISH OR FRAME DIMENSIONS UNLESS OTHERWISE NOTED  
FLASHING PER MANUFACTURER'S SPECIFICATIONS

M/C SIZE	LTS. DESCRIPTION
A	6/0 1/2" x 6/0 1/2" DBL. HINGED WIND. WITH HALF CIRCLE TOP, FIXED (DOORWAY)
B	4/0 1/2" x 4/0 1/2" H H H H
C	4/0 1/2" x 4/0 1/2" H H H H
D	4/0 1/2" x 4/0 1/2" H H H H
E	4/0 1/2" x 4/0 1/2" H H H H
F	4/0 1/2" x 4/0 1/2" H H H H
G	4/0 1/2" x 4/0 1/2" H H H H
H	4/0 1/2" x 4/0 1/2" H H H H
I	4/0 1/2" x 4/0 1/2" H H H H
J	4/0 1/2" x 4/0 1/2" H H H H

**DOOR SCHEDULE**  
ALL EXTERIOR DOORS TO BE FLASHED ACCORDING TO INDUSTRY STANDARDS WITH SPECIAL ATTENTION GIVEN TO DOORS THAT MAY HAVE WIND OR FIRE RISK

M/C SIZE	THK. DESCRIPTION
1	2 1/2" x 6 1/2" x 6 1/2" CUSTOM WOOD 3/4" THICK FRAMED FINISH DOORS WITH A 1/2" x 1/2" TRANSPARENT GLASS PANELS
2	2 1/2" x 6 1/2" x 6 1/2" CUSTOM WOOD 3/4" THICK DOORS TO HAVE 40% SOLAR RAY, LOW EMISSIVE GLASS, INSULATION, SOUND DEADENING, SOUND DEADENING, SOUND DEADENING
3	2 1/2" x 6 1/2" x 6 1/2" METAL, INTERIOR GRABBAR, 1/2" THICK, UNLATCHED, FIRE-RATED
4	2 1/2" x 6 1/2" x 6 1/2" METAL, INTERIOR GRABBAR, 1/2" THICK, UNLATCHED, FIRE-RATED
5	2 1/2" x 6 1/2" x 6 1/2" METAL, INTERIOR GRABBAR, 1/2" THICK, UNLATCHED, FIRE-RATED
6	2 1/2" x 6 1/2" x 6 1/2" METAL, INTERIOR GRABBAR, 1/2" THICK, UNLATCHED, FIRE-RATED
7	2 1/2" x 6 1/2" x 6 1/2" METAL, INTERIOR GRABBAR, 1/2" THICK, UNLATCHED, FIRE-RATED
8	2 1/2" x 6 1/2" x 6 1/2" METAL, INTERIOR GRABBAR, 1/2" THICK, UNLATCHED, FIRE-RATED
9	2 1/2" x 6 1/2" x 6 1/2" METAL, INTERIOR GRABBAR, 1/2" THICK, UNLATCHED, FIRE-RATED
10	2 1/2" x 6 1/2" x 6 1/2" METAL, INTERIOR GRABBAR, 1/2" THICK, UNLATCHED, FIRE-RATED
11	2 1/2" x 6 1/2" x 6 1/2" METAL, INTERIOR GRABBAR, 1/2" THICK, UNLATCHED, FIRE-RATED
12	2 1/2" x 6 1/2" x 6 1/2" METAL, INTERIOR GRABBAR, 1/2" THICK, UNLATCHED, FIRE-RATED



**STAIR NOTES IRC 2021 ed.**

**IRC311.7.8.1** Landings for egress shall be at least as wide as the stairs at each end. The width of the landing shall be not less than the width of the stairs at each end. The width of the landing shall be not less than the width of the stairs at each end. The width of the landing shall be not less than the width of the stairs at each end.

**IRC311.7.8.2** Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs.

**IRC311.7.8.3** Stairways shall be protected by fire-rated doors. Stairways shall be protected by fire-rated doors. Stairways shall be protected by fire-rated doors. Stairways shall be protected by fire-rated doors.

**IRC311.7.8.4** Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs.

**IRC311.7.8.5** Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs.

**IRC311.7.8.6** Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs.

**IRC311.7.8.7** Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs.

**IRC311.7.8.8** Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs.

**IRC311.7.8.9** Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs.

**IRC311.7.8.10** Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs.

**IRC311.7.8.11** Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs.

**IRC311.7.8.12** Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs.

**IRC311.7.8.13** Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs.

**IRC311.7.8.14** Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs.

**IRC311.7.8.15** Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs.

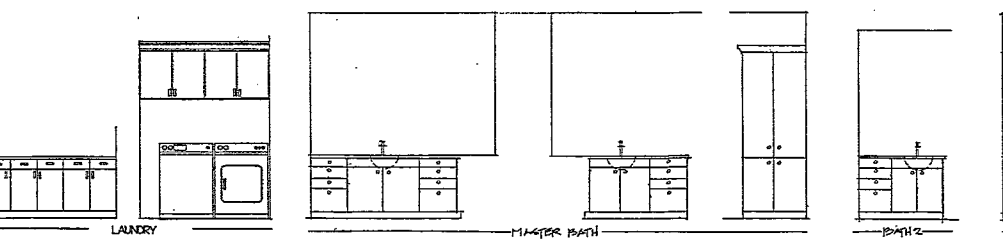
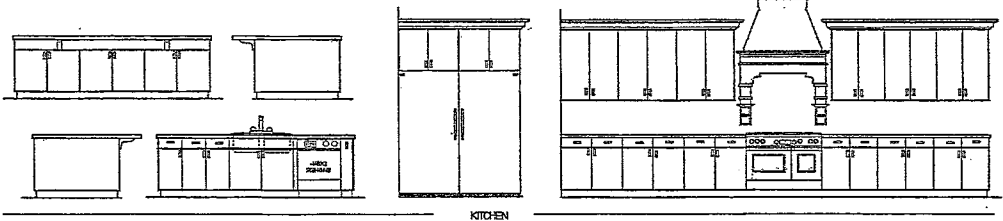
**IRC311.7.8.16** Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs.

**IRC311.7.8.17** Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs.

**IRC311.7.8.18** Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs.

**IRC311.7.8.19** Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs.

**IRC311.7.8.20** Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs. Handrails shall be installed on the open side of the stairs.



**CABINET ELEVATIONS**  
Scale: 3/8" Equals 1'-0"

PRE-CUT, PRE-DRILLED 7/16" WOOD PANELS WITH REQUIRED ANCHORING HARDWARE SHALL BE PROVIDED ON SITE IN ACCORDANCE WITH R301.2.1.2 OF IRC 2021

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**IMPORTANT NOTES**  
1. The architect is not responsible for the accuracy of the information provided in this schedule. The contractor shall verify the accuracy of the information provided in this schedule. The contractor shall verify the accuracy of the information provided in this schedule. The contractor shall verify the accuracy of the information provided in this schedule.

**ANDY MC DONALD**  
ARCHITECT  
Plan No.: 2386/3106  
Scale: 3/8" Equals 1'-0"  
Page No.: 7 OF 7

# MISSISSIPPI OFFICIAL WOOD DESTROYING INSECT REPORT

Inspection Co.: BPC Services  
 Address: RD. BOX 1877  
 City/State/Zip: OCEAN SPRINGS, MS 39564  
 Phone: 601-908-4229

Case Number (VA/FH/Other): 999  
 Inspector: Alan Weber  
 ID Number: 48807 License Number: 46984  
 Inspection Date: 3-25-25

Party Requesting Inspection: Chuck Borda  Purchaser  Seller  Agent  
 Owner/Seller: Chuck Borda Structure(s) Inspected: House  
 Address: 404 Washington Ave Ocean Springs MS, 39564

Report Forwarded To:  Title Company and/or Mortgage Company  Purchaser  Seller  Agent

List all obstructed or inaccessible areas as listed on Page 2 - SECTION C, 1-4: SEE REVERSE  
 Conditions conducive to wood destroying insect infestation:  Yes  No If yes, explain (Conditions Conducive to wood destroying insects infestation as defined on Page 2 - SECTION D): SEE REVERSE

Inspection Reveals Visible Evidence of: (Check Each Column Yes or No)	Active Infestation		Previous Infestation		Previous Treatment		Visible Insect Damages	
	Yes	No	Yes	No	Yes	No	Yes	No
Subterranean Termites	X							
Drywood Termites								
Wood Borer Beetle-specify								
Carpenter Bees								
Carpenter Ants								

Remarks / Additional Findings: BPC Services is not responsible for insect and / or damage in areas that are inaccessible for inspection or where conducive conditions exist. See statement of Pest Control operator on reverse.

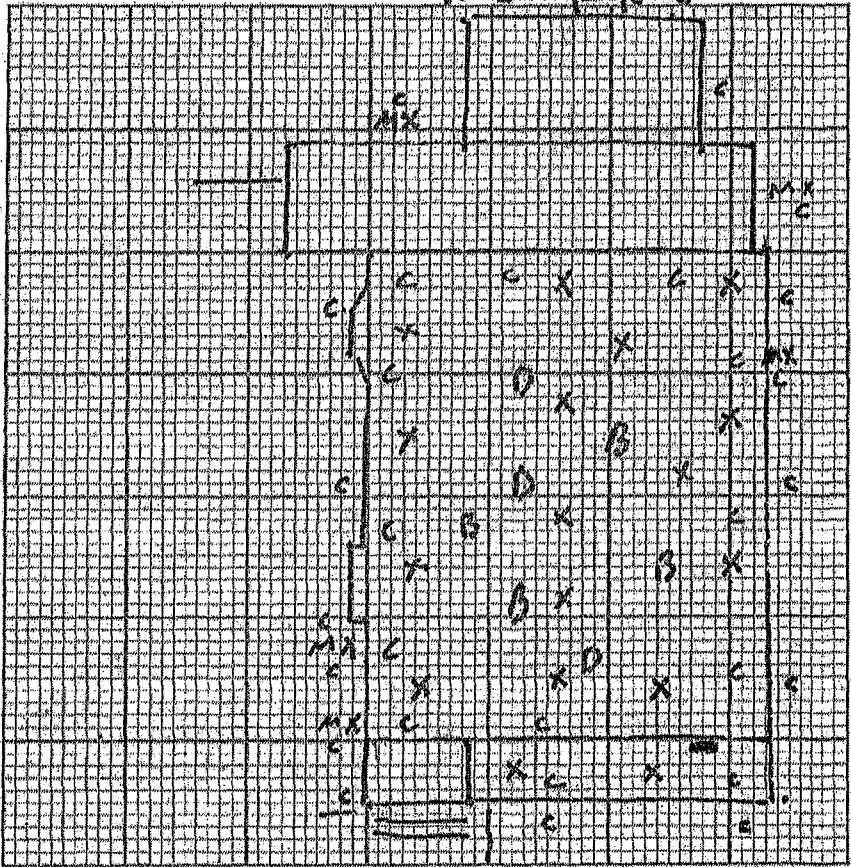
Structure previously treated by this company:  Yes  No  
 This company has current contract in force:  Yes  No Expiration Date: \_\_\_\_\_ Contract Transferable:  Yes  No  
 Date of original treatment: \_\_\_\_\_ Type of insect treatment contract: \_\_\_\_\_  
 Buyer should acquire a copy of this contract for terms and type of coverage.

### GRAPH MUST BE COMPLETED FOR EVERY STRUCTURE INSPECTED.

Not to Scale

#### KEY SYMBOLS

- = Subterranean Termite Activity
- X = Subterranean Termite Damage
- = Wood Boring Beetle Activity
- B = Beetle Damage
- = Carpenter Ant Activity
- CA = Carpenter Ant Damage
- = Carpenter Bee Activity
- CB = Carpenter Bee Damage
- = Drywood Termite Activity
- D = Drywood Termite Damage
- C = Conditions Conducive To Wood Destroying Insects



**IMPORTANT-THIS GRAPH IS NOT DRAWN TO SCALE AND ANY EVIDENCE LISTED IS LOCATED IN GENERAL LOCATIONS  
 READ AND UNDERSTAND BOTH SIDES OF THIS REPORT.**

Additional Comments: See statement of pest control operator on reverse side. By accepting this report, seller / buyer releases BPC Services of any and all liability from past or present wood destroying insect / organism damage from the inspected structure arising from any area that was inaccessible at the time of the inspection or listed as a conducive condition.

Inspector's Signature: [Signature] Date: 3-25-25  
 License or Permit Holder's Signature of Approval: [Signature] Date: 3-25-25  
 Notice of inspection was posted at or near:  Access Opening  Water Heater  Basement Kitchen Sink Date Posted: 3-24-25

I HAVE RECEIVED THE ORIGINAL OR A LEGIBLE COPY OF THIS FORM, HAVE READ, AND UNDERSTAND SAME.  
 Signature of Individual Purchasing Property: \_\_\_\_\_ Date: \_\_\_\_\_

(SEE REVERSE SIDE)

**STATEMENT OF PEST CONTROL OPERATOR**

- A.** THIS REPORT CERTIFIES AS TO THE PRESENCE, ABSENCE, PREVIOUS INFESTATION AND DAMAGE CAUSED BY WOOD DESTROYING INSECTS IN THE VISIBLE AND ACCESSIBLE AREAS OF A WOODEN STRUCTURE. THIS REPORT IS MADE ON THE BASIS OF WHAT WAS VISIBLE AND ACCESSIBLE AT THE TIME OF THE INSPECTION (HEREAFTER DEFINED AS "THE DATE INSPECTION WAS PERFORMED") FOR THE STRUCTURE(S) LISTED. DETACHED GARAGES, SHEDS, LEAN-TOS, FENCES, OR OTHER BUILDINGS ON THE PROPERTY WILL NOT BE INCLUDED IN THIS INSPECTION REPORT UNLESS SPECIFICALLY NOTED. THIS REPORT IS NOT A WARRANTY AS TO ABSENCE OF WOOD DESTROYING INSECTS, OR HIDDEN DAMAGE, OR THE PRESENCE OF ALL CONDITIONS CONDUCTIVE TO WOOD DESTROYING INSECT INFESTATIONS. ANY EVIDENCE OF CONDITIONS SURROUNDING TOXIC MOLD, MILDEW OR FUNGUS WILL NOT BE PART OF THIS REPORT. THE CUSTOMER SHOULD HAVE A QUALIFIED EXPERT INSPECT THE BUILDING FOR ANY MOLD CONCERNS. IF VISIBLE EVIDENCE OF ACTIVE OR PREVIOUS INFESTATION OF WOOD DESTROYING INSECTS COVERED BY THIS REPORT (I.E. SUBTERRANEAN TERMITES, DRYWOOD TERMITES, RE-INFESTING WOOD BORING BEETLES, CARPENTER ANTS AND CARPENTER BEES) IS REPORTED, IT SHOULD BE ASSUMED THAT SOME DEGREE OF DAMAGE IS PRESENT. IF VISIBLE DAMAGE IS REPORTED, IT DOES NOT IMPLY THAT DAMAGE SHOULD BE REPAIRED OR REPLACED. THIS REPORT IS NOT A STRUCTURAL DAMAGE REPORT. THE ABOVE NAMED FIRM'S INSPECTORS ARE NOT ENGINEERS OR BUILDERS, AND YOU MAY WISH TO CALL A QUALIFIED ENGINEER OR EXPERT IN THE BUILDING TRADE TO ASCERTAIN THEIR OPINION AS TO WHETHER THERE IS STRUCTURAL DAMAGE TO THIS PROPERTY AND IF CORRECTIVE ACTION SHOULD BE PERFORMED BY A QUALIFIED BUILDING EXPERT. IF COMPANY PERFORMING INSPECTION DOES NOT HAVE CURRENT WOOD DESTROYING INSECT TREATMENT CONTRACT IN FORCE ON PROPERTY NOTED ON THIS FORM, THIS INSPECTION DOES NOT COVER ANY REPAIR OR CONDITION OR DAMAGE, OR TREATMENT OF AREA WHICH WAS NOT VISIBLE AND ACCESSIBLE AT TIME OF INSPECTION, BUT WHICH MAY BE REVEALED IN THE COURSE OF REPAIR OR REPLACEMENT WORK. IF CURRENT WOOD DESTROYING INSECT TREATMENT CONTRACT IS IN FORCE, WARRANTY IS BASED ON THE TERMS OF TREATMENT CONTRACT.
- B.** THIS REPORT IS NOT AN OPINION COVERING AREAS THAT ARE ENCLOSED OR INACCESSIBLE, OR OF ANY PORTION OF THE STRUCTURE IN WHICH INSPECTION WOULD NECESSITATE REMOVING OR DEFACING ANY PART OF THE STRUCTURE. SECTION B (1-5) LIST EXAMPLES OF OBSTRUCTED OR INACCESSIBLE AREAS, BUT NOT LIMITED TO, THAT MAY BE COMMON TO STRUCTURES THAT WILL NOT BE LISTED ON PAGE 1 OF THIS REPORT AND/OR IN ADDITIONAL COMMENTS:
1. JOISTS HIDDEN (a) suspended ceiling (b) fixed ceiling (c) insulation (d) floor over joists
  2. WALL COVERINGS (a) paneling (b) dry wall (c) plaster (d) tile (e) cabinets (f) shelving (g) wallpaper (h) inaccessible bath trap
  3. FLOOR COVERINGS (a) tile (b) carpet (c) rugs (d) linoleum (e) mallein
  4. ROOF RAFTERS HIDDEN (a) suspended ceiling (b) fixed ceiling (c) insulation
  5. RAISED FLOORING (a) flooring elevated with sleepers/battens
- C.** THIS REPORT IS NOT AN OPINION COVERING AREAS THAT ARE ENCLOSED OR INACCESSIBLE, OR OF ANY PORTION OF THE STRUCTURE IN WHICH INSPECTION WOULD NECESSITATE REMOVING OR DEFACING ANY PART OF THE STRUCTURE, OR REMOVING OR MOVING ITS CONTENTS. SECTION C (1-4) LIST EXAMPLES OF OBSTRUCTED OR INACCESSIBLE AREAS, BUT NOT LIMITED TO, THAT (IF PRESENT) ARE REQUIRED TO BE LISTED ON PAGE 1 OF THIS REPORT AND/OR IN ADDITIONAL COMMENTS:
1. PERSONAL POSSESSIONS (a) stored material (b) boxes (c) pictures (d) clothing (e) furniture (f) appliances
  2. EXTERIOR (a) dense shrubbery (b) siding (c) window well covers (d) planters (e) brick and stucco below the soil
  3. PORCH (a) no access or entry beneath floor surface (b) debris
  4. ADD'L ITEMS (a) standing water (b) debris (c) firewood (d) no access or entry (e) absence of safe or stable access (f) inaccessible attic (g) leading roof (h) faulty plumbing (i) earth-wood contact (j) wooden docks (k) hidden expansion joints (l) less than 18 inches of clearance
- D.** CONDUCTIVE CONDITIONS INCREASE THE LIKELIHOOD OF WOOD DESTROYING INSECT AND/OR ORGANISM ACTIVITY. CONDUCTIVE CONDITIONS LISTED ON THIS REPORT ARE ONLY IN AREAS THAT WERE VISIBLE AND ACCESSIBLE AT THE TIME OF THE INSPECTION. THE FOLLOWING IS A LIST OF CONDUCTIVE CONDITIONS LIMITED TO THIS REPORT THAT (IF PRESENT) MUST BE LISTED ON PAGE 1 OF THIS REPORT AND/OR IN ADDITIONAL COMMENTS:
1. STANDING WATER
  2. POOR VENTILATION
  3. VEGETATION OR VINES CLOSER OR ON STRUCTURE
  4. CRACKS IN FOUNDATION
  5. LEAKS
  6. WOOD TO GROUND CONTACT
  7. HIGH SOIL (exposed brick, stucco, or exterior insulation and finishing system (EIFS) into the ground are examples)
  8. MULCH, LANDSCAPE TIMBERS, STUMP OR ROOTS AGAINST OR UNDER THE STRUCTURE
  9. VISIBLE WATER DAMAGE
  10. VISIBLE MOISTURE
  11. VISIBLE WOOD ROT FUNGUS
- E.** VISUAL EVIDENCE OF PREVIOUS TREATMENT IS DEFINED AS VISUAL EVIDENCE OF PREPARATION FOR TREATMENT. SOME EXAMPLES INCLUDE: DRILL HOLES IN MASONRY VOIDS, DRILL HOLES IN SLABS OR FLOORING, TRENCHING OR TRENCHING AND RODDING AROUND PERIMETER OR IN CRAWL SPACES OR PRESENCE OF TERMITE BAITING STATIONS. IF COMPANY PERFORMING THIS INSPECTION DID NOT PREVIOUSLY TREAT THIS STRUCTURE, NO STATEMENT IS MADE AS TO WHETHER THE STRUCTURE HAS EVER BEEN TREATED, OR IF TREATED, WAS TREATED CORRECTLY.
- F.** NEITHER I NOR THE COMPANY FOR WHICH I AM ACTING HAVE HAD, PRESENTLY HAVE, OR CONTEMPLATE HAVING ANY INTEREST IN THE PROPERTY. I DO FURTHER STATE THAT NEITHER I NOR THE COMPANY FOR WHICH I AM ACTING IS ASSOCIATED IN ANY WAY WITH ANY PARTY TO THIS TRANSACTION UNLESS FULL DISCLOSURE OF ANY KNOWN ASSOCIATION IS PRINTED IN THE ADDITIONAL COMMENTS SECTION OF THIS FORM.

**PRIVACY ACT INFORMATION -**  
 THE INFORMATION REQUESTED ON THIS FORM WILL BE USED FOR EVALUATING THE PROPERTY FOR A VA OR HUD INSURED LOAN. ALTHOUGH THE BORROWER IS NOT REQUIRED BY LAW TO PROVIDE THIS INFORMATION, FAILURE TO PROVIDE IT CAN RESULT IN REJECTION OF THE PROPERTY AS SECURITY FOR THE LOAN. THE INFORMATION COLLECTED WILL NOT BE DISCLOSED OUTSIDE VA OR HUD EXCEPT AS PERMITTED BY LAW. VA AND HUD ARE AUTHORIZED TO REQUEST THIS INFORMATION BY STATUTE (38 U.S.C. 1810(d) (4) AND 12 U.S.C. 1701 OR SEQ.)

ADDITIONAL COMMENTS (if additional pages are needed for comments, note number of pages added in comments and attach):

Conductive Conditions: Salt Above: Brick, Stucco, Footing, Block, etc.  
Wood to Ground Contact  
Exp. Moisture Damage

Inaccessible Areas: Expansion Joints, masonry, Masonry Voids,  
Parapet of patio - no access, areas with  
Stucco Voids - Floor - Masonry  
Area under Vapor Barrier



**CITY OF OCEAN SPRINGS  
COMMUNITY DEVELOPMENT AND PLANNING  
POST OFFICE BOX 1800  
OCEAN SPRINGS, MS 39566-1800  
228-875-4415**

**HISTORIC PRESERVATION COMMISSION REPORT**

**MEETING DATE:** May 19, 2025 (Special Call Meeting)

**APPLICANT:** Marques Thomas

**CURRENT OWNER:** St. Alphonsus Church

**REQUESTED ACTION:** Approval of Certificate of Appropriateness to build detached restrooms for the existing playground.

**DATE OF APPLICATION:** March 14, 2025

**LOCATION:** 504 Jackson Ave  
Old Ocean Springs Historic District

**PARCLE NUMBER:** 60137192.000 & 60137238.000

**DESCRIPTION OF THE REQUEST:**

The applicant proposes building 196 sq ft restrooms for the existing playground. The restrooms will resemble the one in the Little Children’s Park across the street.

**ADJACENT ZONING/LAND USE:**

**Subject Property:** R-1 Low Density Single Family/Church – School House

**North:** R-1 Low Density Single Family

**South:** R-1 Low Density Single Family

**East:** CMX-2 Neighborhood Commercial/Mixed Use & R-2 Low-Medium Density

**West:** R-1 Low Density Single Family



## **MS DEPT. OF ARCHIVES AND HISTORY RESOURCES INVENTORY:**

- **BRIEF DESCRIPTION:** One-story, four-bay-wide, side-gable Eclectic school building with Gothic Revival entry porch. Bay 4 is a gablerooft entry porch ornamented with a cross and statuary in the parapet above a Gothic lancet entry. Windows are 4/4 steel double-hung-sash with transoms in groups of 5 and 4-light fixed steel sash. The building has a concrete slab foundation, stucco cladding, and an asphalt shingle roof. A large flat roofed building is attached to the rear (east) of the core structure by a window-lined corridor.
- **HISTORIC INFORMATION:** The first St. Alphonsus Catholic School was constructed on this property in 1887 facing Calhoun Avenue. The school was short lived, but the building continued to be used as a rectory. The building was moved to Jackson Avenue in 1900 and the school was reopened, in the same building during World War I by Father William S. Irwin. After three years the school was closed again; in 1928 the school reopened and eventually outgrew the original three room schoolhouse. As a result, the building that stands at 504 Jackson Avenue was constructed.

## **FINDINGS:**

- An accessory unit (restrooms) is allowed in the R-1 zoning. There are additional regulations that will have to be met for the accessory structure, when the building permit is applied for.
- The Unified Development Code (UDC) Section 6.2.1.C.4: Page 280
  - Accessory structures may be allowed in any zoning district, provided that they comply with the standards of the zoning district and that the following general standards are met, along with specific standards for the structure as provided in this UDC:
    - Where an accessory structure or use is located on a corner lot, no variation from the applicable district's standard minimum sideyard setback will be permitted on the street-facing side. No accessory buildings on a said corner lot shall project beyond the front yard line of the lot(s) abutting in the rear, nor shall an accessory building be erected, reconstructed, altered or enlarged less than ten (10) feet to the line of the abutting lot to the rear.
- The applicant is proposing to construct restrooms using the following:
  - Location:
    - Back of property near Washington Ave
  - Siding:
    - Hardie board
  - Roof:

- Singles that match the church
- Paint:
  - Main structure: Benjamin Moore – Snowfall White 2144-70
  - Trim: Benjamin Moore – Powder Sand 2151-70
- New construction in historic neighborhoods should respect the scale existing buildings in the district. New buildings should reference existing structures for height and width.
- New buildings should replicate the foundation and story heights of adjacent and nearby historic properties.
- New buildings should reference the roof shape, pitch, and height of adjacent and nearby historic buildings.
- New buildings should draw upon the shape and composition of the main bodies of adjacent and nearby historic buildings for guidance.

**PUBLIC FEEDBACK:**

None received as of April 25, 2025.

**POTENTIAL MOTION:**

To recommend **approval** of a COA for the construction of detached restrooms at 504 Jackson Ave as described in the application and plan.

**-OR-**

To recommend **denial** of a COA for the construction of detached restrooms at 504 Jackson Ave as described in the application and plans.



City of Ocean Springs  
 Historic Preservation Commission  
 1018 Porter Avenue / PO Box 1800 Ocean Springs, MS 39564  
 (228) 875-4415

— CERTIFICATE OF APPROPRIATENESS APPLICATION —

**Application Date:** \_\_\_\_\_  
*[Applications are due by the 7th of each month for consideration the FOLLOWING month.]*

**APPLICATION FEE: \$51.00 – Cash, Check (Payable to CITY OF OCEAN SPRINGS), C/C – 3% fee**  
*\$1.00 fee is per Ordinance 2022-17 following requirements of Section 25-60-5 MS Code Annotated*

**\*\*\*\*\* APPLICANT MUST ATTEND HEARING \*\*\*\*\***

**Property Address:** 504 Jackson Ave, Ocean Springs, MS 39564  
**Property Owner(s):** St Alphonsus Church  
**Parcel ID Number:** ~~03612-390070~~ 60137192.000 / 60137238.000 **Zone:** Com **Approximate Age of Home:** \_\_\_\_\_

**ACCESS:** Upon application submittal, City Officials and HPC Members are authorized to enter property to view proposal unless checked below.

**Check here** if City Officials and HPC members **DO NOT** have permission to enter property.

**Applicant [check one]:**  Architect  Contractor  Owner  Other \_\_\_\_\_

**Name:** Marques Thomas / ELO Homes LLC  
**Address:** 1915 Port Ave  
**City:** Ocean Springs **State:** MS **Zip:** 39564  
**Phone:** 228-219-4200 **Email:** Marques4042@gmail.com

**Property Owner [if Different]:**  
**Name:** Church Catholic Diocese  
**Address:** 504 Jackson Ave  
**City:** Ocean Springs **State:** MS **Zip:** 39564  
**Phone:** 228-219-4200 **Email:** Marques4042@gmail.com

**DIRECTIONS:** Check box which best represents your request (more than one box may be checked), and **ATTACH** the corresponding checklist to help ensure a complete application.

- |  |   |
|--|---|
| <input checked="" type="checkbox"/> New Construction, Additions, Extensive Renovation / Repair | <input type="checkbox"/> Landscaping and Site Improvements (i.e. Fencing) |
| <input type="checkbox"/> Minor Renovation / Repair   | <input type="checkbox"/> Signage  |
| <input type="checkbox"/> Exterior Painting (Contributing Structures Only)                      | <input type="checkbox"/> Demolition                                       |



— CERTIFICATE OF APPROPRIATENESS APPLICATION —

**DESCRIPTION OF REQUEST ATTACHMENT FOR:**

**New Construction, Additions, Extensive Renovation / Repair**

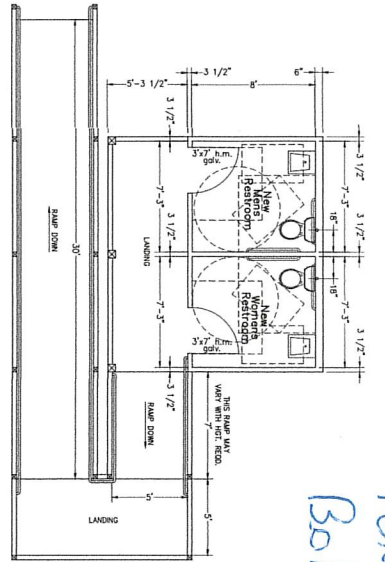
**NOTE:** Architectural plans and rendering are encouraged; if not available, roughly scaled and dimensional drawings will suffice. Documentation must be provided in a format that can be easily copied for the design process. Architectural drawing, construction details, landscape plans, etc., should be printed on paper no larger than 11" X 17". HPC is concerned with exterior features. Interior floor plans and features are not necessary.

**Required Attachments:**

1. **Two (2)** sets of scaled drawing, which shall include:
  - a.  A site plan illustrating location of proposal as well as all other structures on the site, with dimensions, setback distances, landscaping, driveways, walkways and protected trees.;
  - b.  A floor plan, with dimensions as it impacts the exterior of the structure;
  - c.  A drawing with dimensions of all affected exterior elevations;
  - d.  Notes describing exterior materials to be used. (i.e. walls, roof, trim, cornice, windows, doors, etc.); *Hard Siding, Architectural Siding*
  - e.  Detailed drawings or photographs of any decorative architectural details. (i.e. columns, balustrades, modillions, etc.); and
  - f.  Paint samples and plan keyed to location of each color (*Pivotal Structures Only*).
2. Photographs of the subject structure to be worked on, and adjacent property structures.
  - a.  Subject property; and
  - b.  Adjacent property structures.

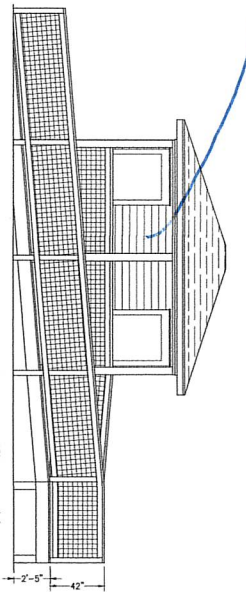
Description: Add a 196 square bathroom on the playground.  
The bathroom will resemble the bathroom will resemble  
the one in the Children's Park across the street

— **Attach Additional Sheets if Needed** —

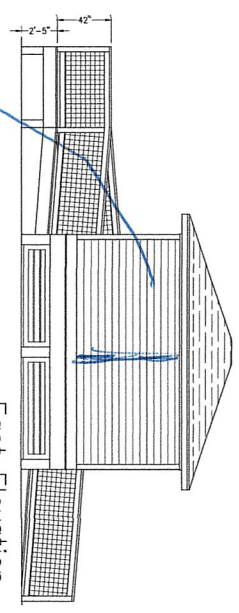


New Restroom  
Floor Plan  
Scale: 1/4"=1'-0"  
NORTH

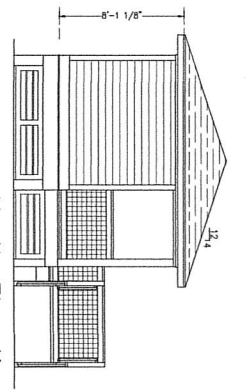
Board  
BoA.



West Elevation  
Scale: 1/4"=1'-0"



East Elevation  
Scale: 1/4"=1'-0"



North Elevation  
Scale: 1/4"=1'-0"

15' off Street

color

windows  
3/11

landscaping

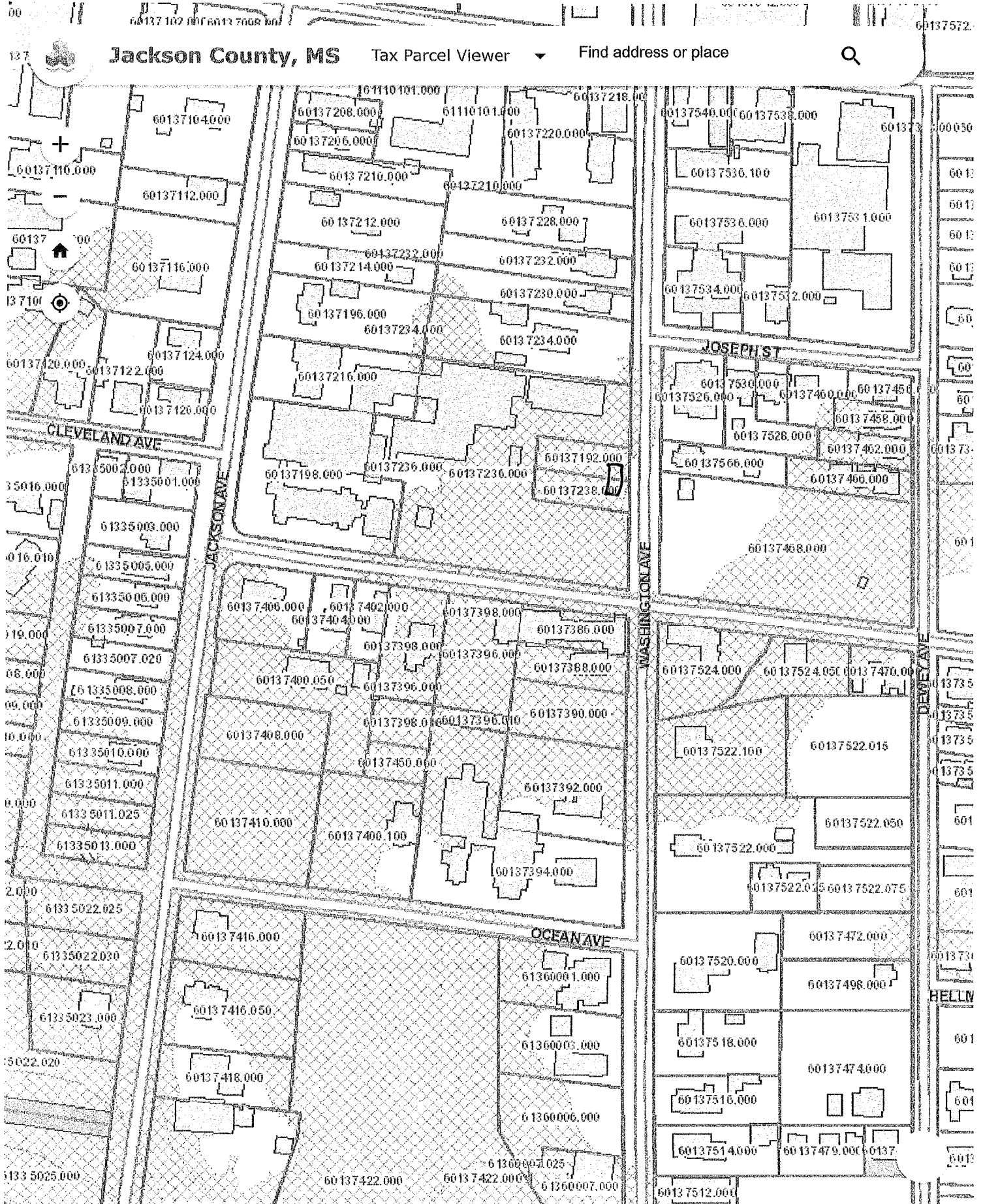
**CONTRACT NOTES:**  
1. SEE DRAWINGS AND SPECIFICATIONS FOR THE LATEST LISTED MATERIALS AND FINISHES.  
2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND ALL APPLICABLE REGULATIONS.  
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.  
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.  
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ACCESS TO ALL ADJACENT PROPERTIES.  
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.  
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.  
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.  
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.  
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ADJACENT PROPERTIES.



**Hilliard Fountain**  
Residential Designer & Consultant  
6716 River Drive - Shreve, Mississippi, 39327  
1-728-932-4197, Cell: (228)258-9788

Project Name:  
New Playground Restrooms  
St. Alphonsus Church  
Jackson Avenue  
Ocean Springs, Mississippi

Sheet No.1  
Preliminary 2-11-2025



985,764.033 330,701.291 Feet

200ft



# 60137192.000 CHURCH CATHOLIC DIOCESE OF





# 60137238.000 CHURCH CATHOLIC

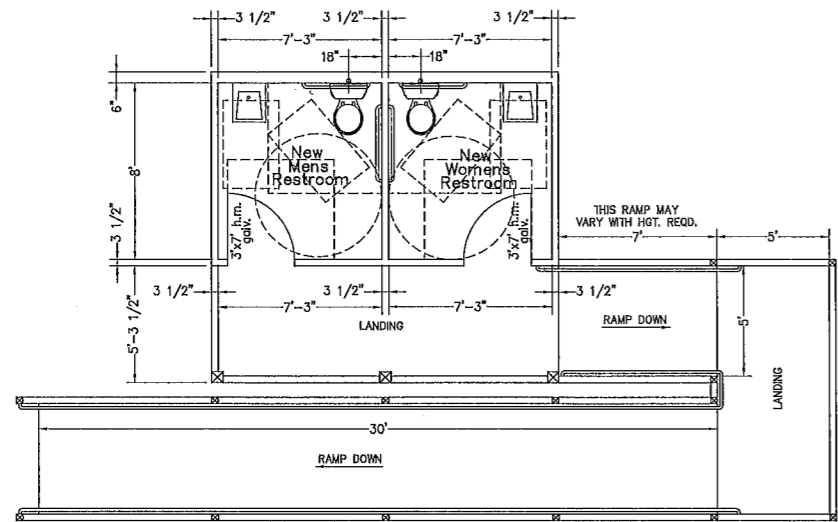




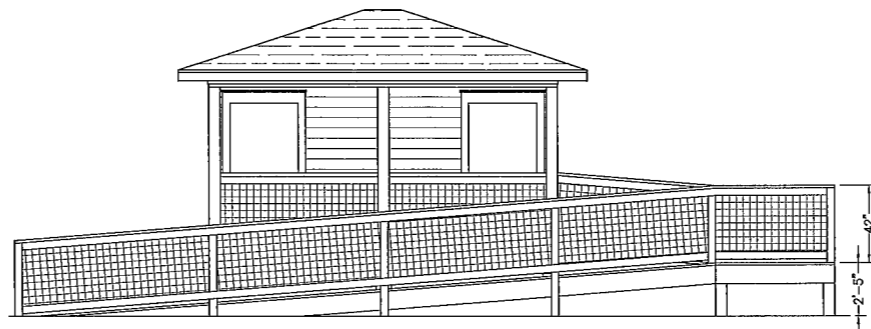




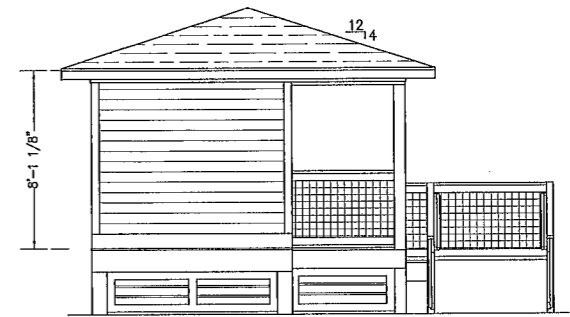




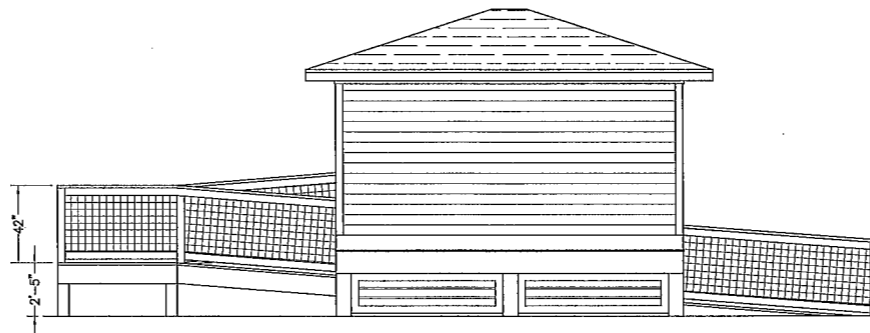
**New Restroom  
Floor Plan**  
Scale: 1/4"=1'-0"  
NORTH



**West Elevation**  
Scale: 1/4"=1'-0"



**North Elevation**  
Scale: 1/4"=1'-0"



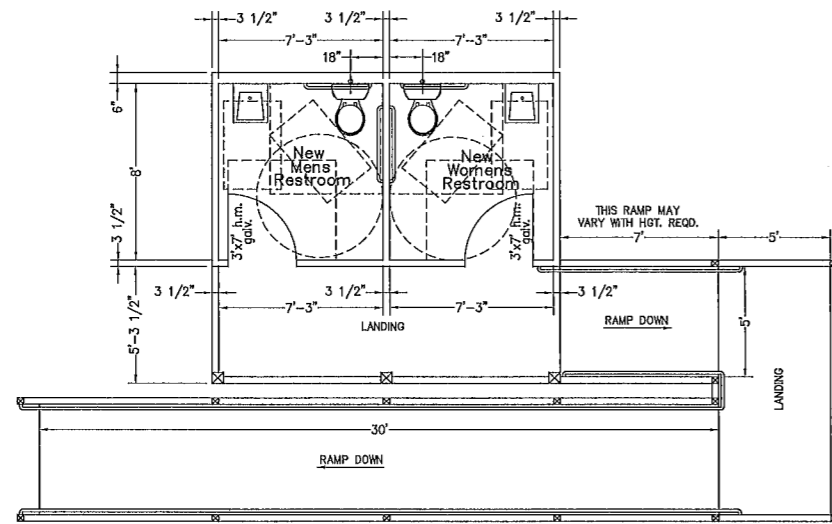
**East Elevation**  
Scale: 1/4"=1'-0"

**HF** Hilliard Fountain  
Residential Designer & Consultant  
6716 Riviera Drive - Biloxi, Mississippi 39532  
1(228)392-4178 / Cell: 1(228)238-9758

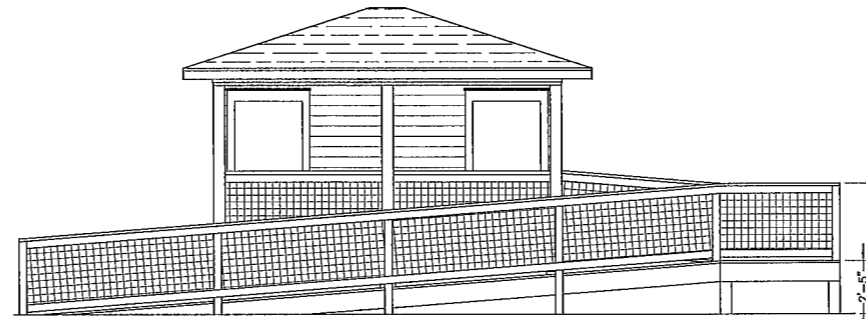
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New Playground Restrooms  
St. Alphonsis Church  
Jackson Avenue  
Ocean Springs, Mississippi

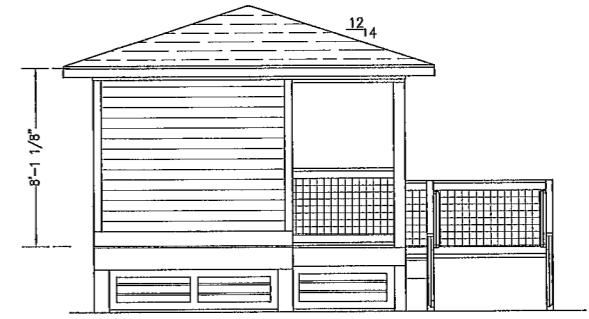
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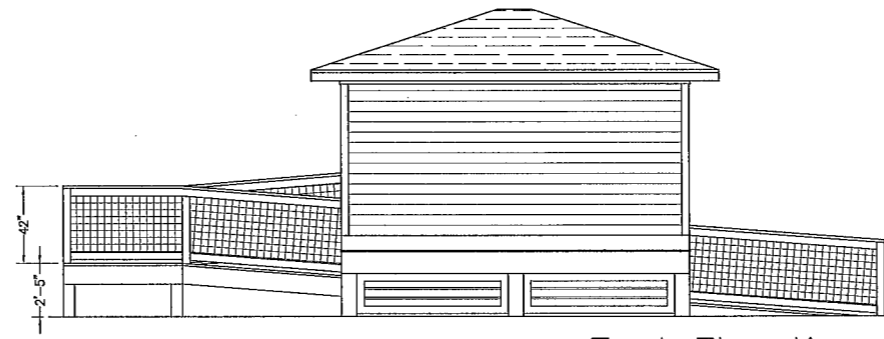
New Restroom  
Floor Plan  
Scale: 1/4"=1'-0"  
NORTH



West Elevation  
Scale: 1/4"=1'-0"



North Elevation  
Scale: 1/4"=1'-0"



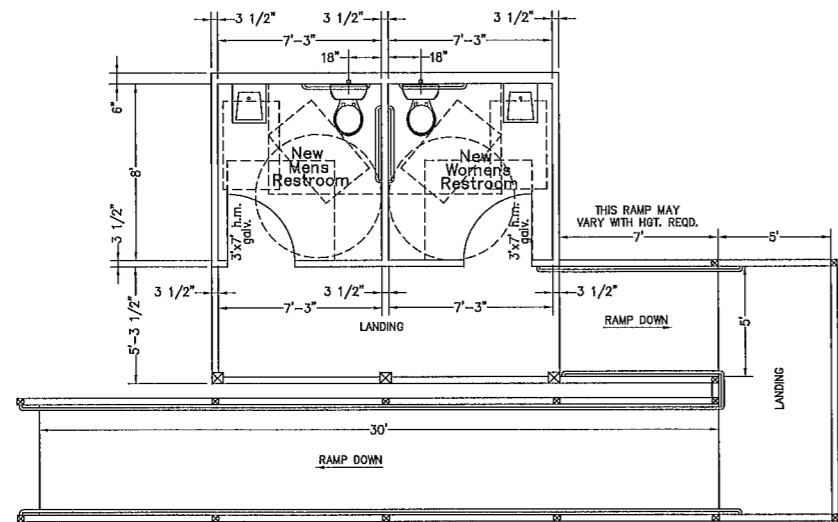
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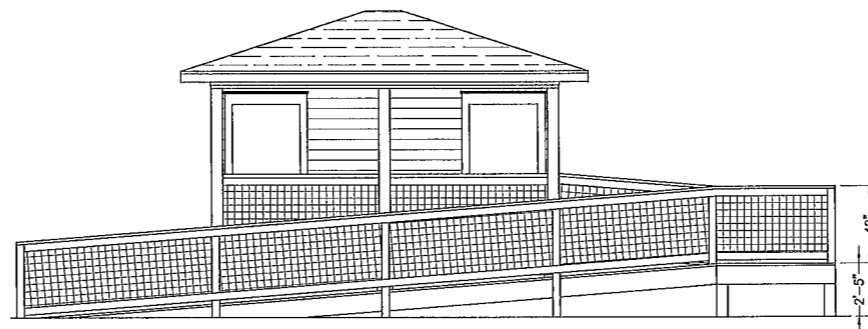
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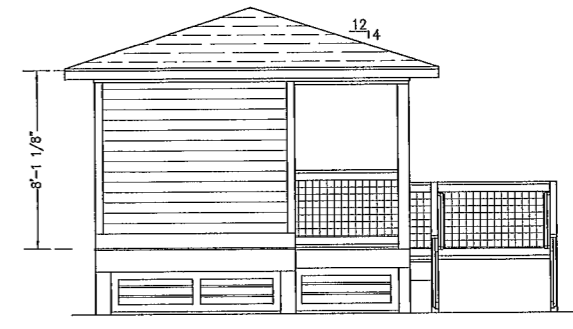
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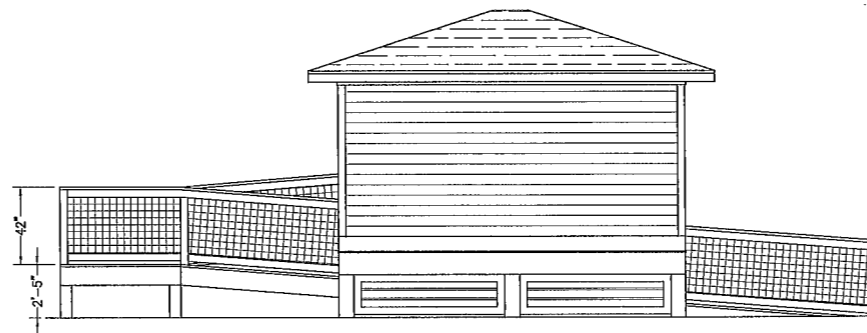
New Restroom  
Floor Plan  
Scale: 1/4"=1'-0" NORTH



West Elevation  
Scale: 1/4"=1'-0"



North Elevation  
Scale: 1/4"=1'-0"



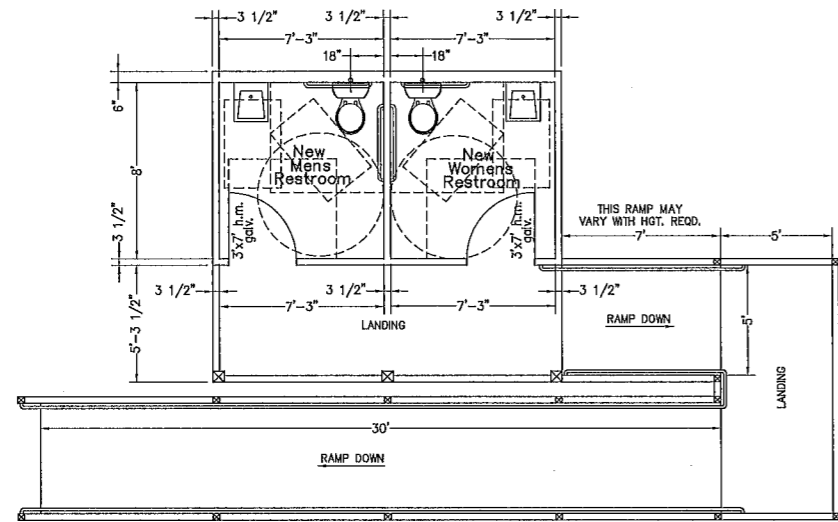
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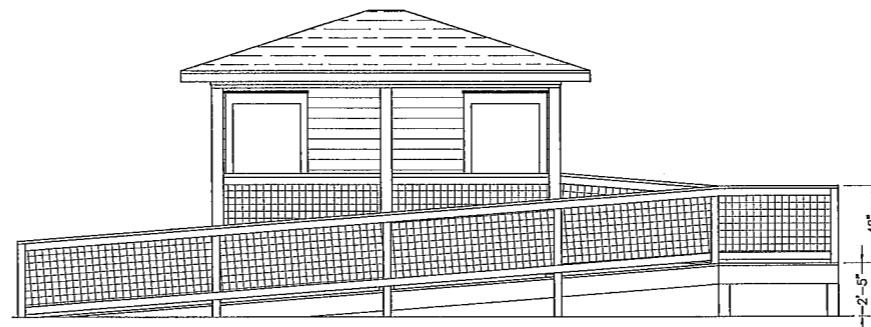
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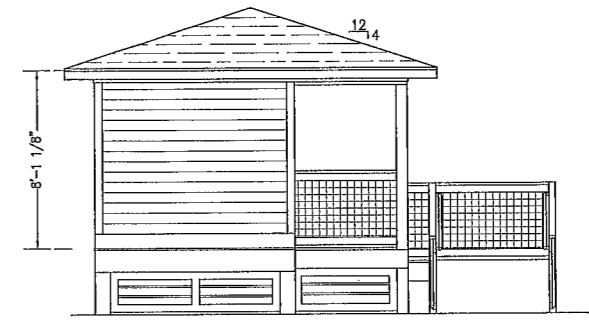
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Preliminary 2-11-2025



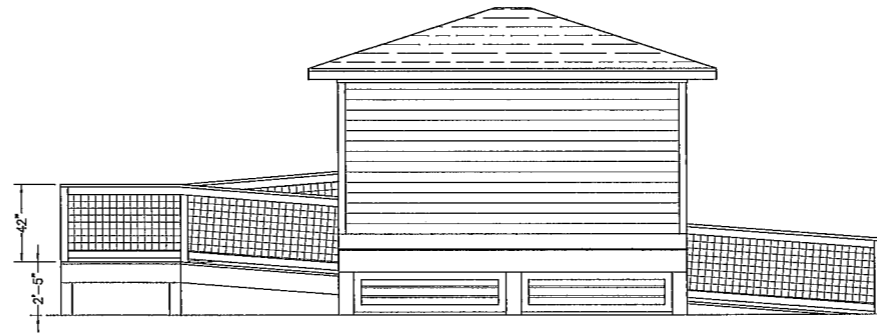
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West Elevation  
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Scale: 1/4"=1'-0"



East Elevation  
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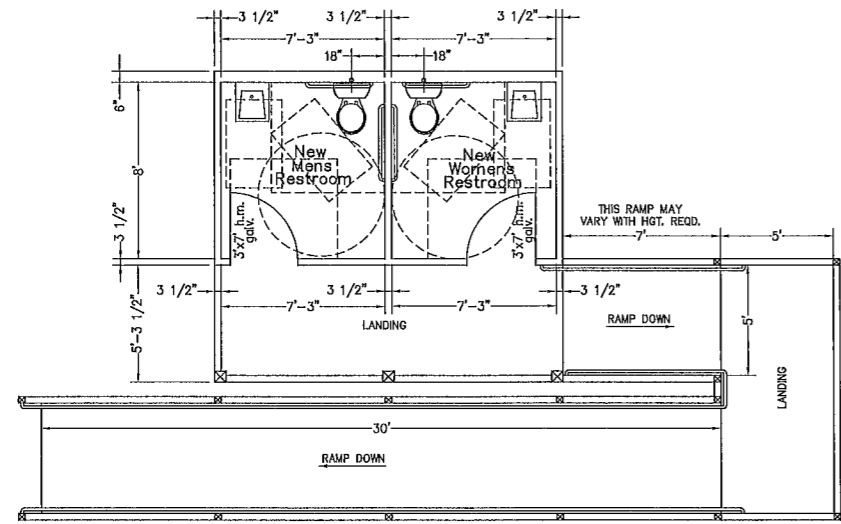
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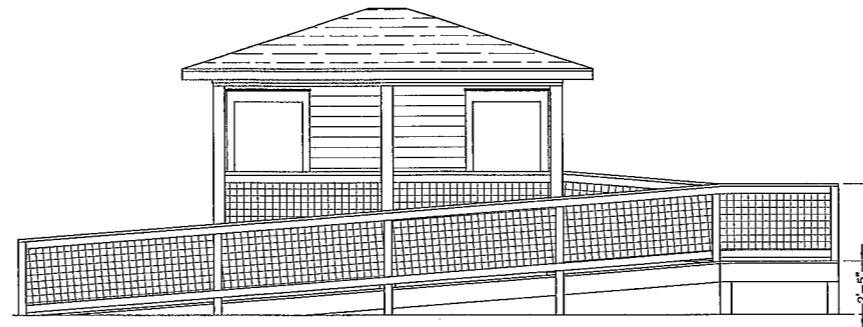
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Sheet No.1  
Preliminary 2-11-2025

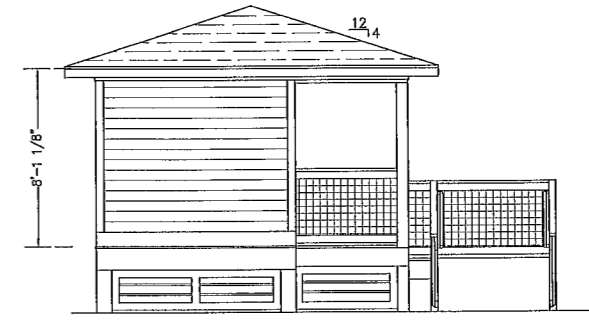




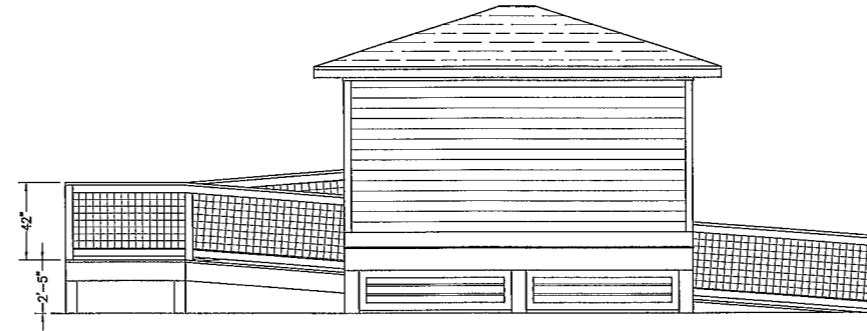
New Restroom  
Floor Plan  
Scale: 1/4"=1'-0" NORTH



West Elevation  
Scale: 1/4"=1'-0"



North Elevation  
Scale: 1/4"=1'-0"



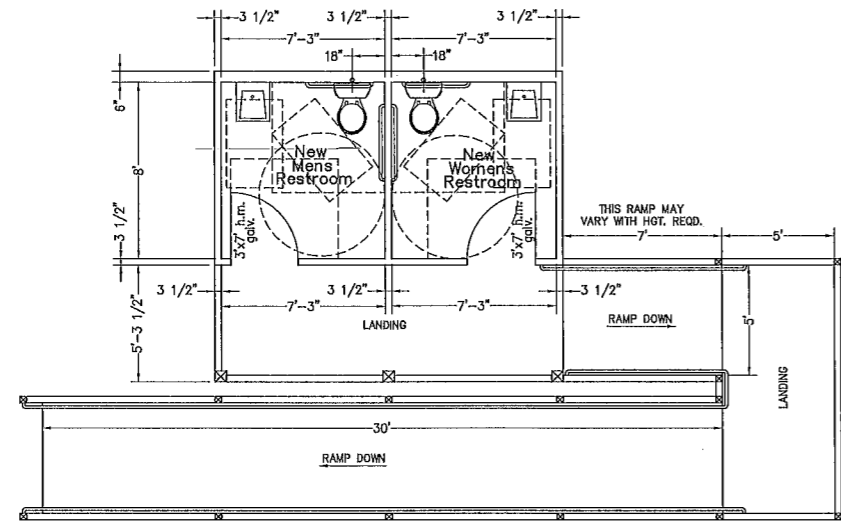
East Elevation  
Scale: 1/4"=1'-0"

**HF** Hilliard Fountain  
Residential Designer & Consultant  
6716 Rivera Drive - Biloxi, Mississippi 39532  
1(228)392-4178 / Cell: 1(228)238-9758

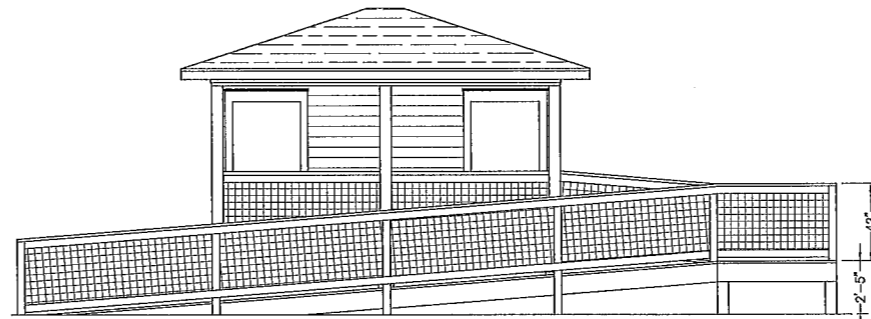
COPYRIGHT NOTICE:  
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Project Name:  
New Playground Restrooms  
St. Alphonsis Church  
Jackson Avenue  
Ocean Springs, Mississippi

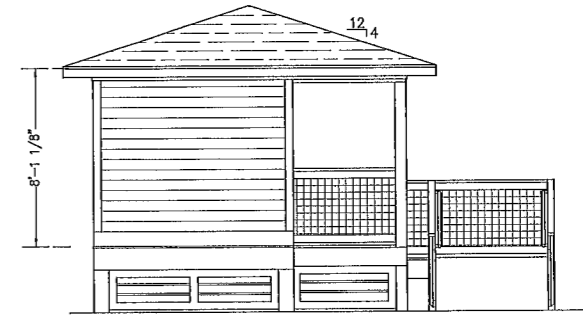
Sheet No.1  
Preliminary 2-11-2025



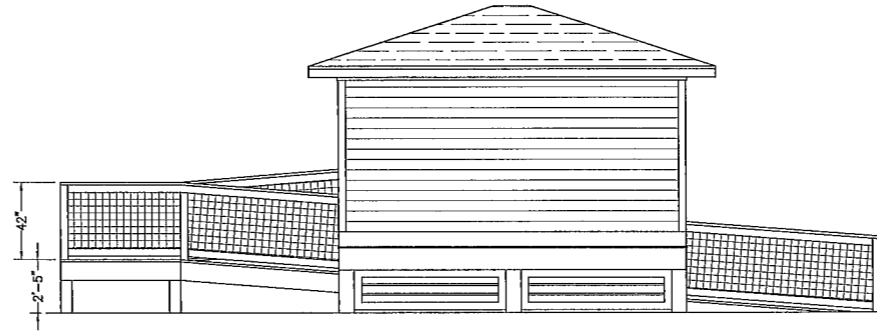
New Restroom  
Floor Plan  
Scale: 1/4"=1'-0"  
NORTH



West Elevation  
Scale: 1/4"=1'-0"



North Elevation  
Scale: 1/4"=1'-0"



East Elevation  
Scale: 1/4"=1'-0"

**HF** Hilliard Fountain  
Residential Designer & Consultant  
8716 Riviera Drive - Blox, Mississippi 39532  
1(228)392-4178/ Cell: 1(228)238-9758

Project Name:  
New Playground Restrooms  
St. Alphonsis Church  
Jackson Avenue  
Ocean Springs, Mississippi

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Sheet No.1  
Preliminary 2-11-2025







U.S. DEPARTMENT OF HOMELAND SECURITY  
Federal Emergency Management Agency  
National Flood Insurance Program

OMB Control No. 1680-0008  
Expiration Date: 06/30/2026

**ELEVATION CERTIFICATE**

**IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19**

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION	FOR INSURANCE COMPANY USE
A1. Building Owner's Name: <u>Marques Thomas</u>	Policy Number: _____
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: <u>504 Jackson Ave</u>	Company NAIC Number: _____
City: <u>Ocean Springs</u> State: <u>MS</u> ZIP Code: <u>39564</u>	
A3. Property Description (e.g., Lot and Block Numbers or Legal Description) and/or Tax Parcel Number: <u>Parcel No. 60137236.000</u>	
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.): <u>Accessory</u>	
A5. Latitude/Longitude: Lat. <u>30°24'35.06"</u> Long. <u>88°349'42.56"</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983 <input type="checkbox"/> WGS 84	
A6. Attach at least two and when possible four clear photographs (one for each side) of the building (see Form pages 7 and 8).	
A7. Building Diagram Number: <u>1B</u>	
A8. For a building with a crawlspace or enclosure(s):	
a) Square footage of crawlspace or enclosure(s): <u>0.00</u> sq. ft.	
b) Is there at least one permanent flood opening on two different sides of each enclosed area? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	
c) Enter number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade: Non-engineered flood openings: <u>0</u> Engineered flood openings: <u>0</u>	
d) Total net open area of non-engineered flood openings in A8.c: <u>0.00</u> sq. in.	
e) Total rated area of engineered flood openings in A8.c (attach documentation – see Instructions): <u>0.00</u> sq. ft.	
f) Sum of A8.d and A8.e rated area (if applicable – see Instructions): <u>0.00</u> sq. ft.	
A9. For a building with an attached garage:	
a) Square footage of attached garage: <u>0.00</u> sq. ft.	
b) Is there at least one permanent flood opening on two different sides of the attached garage? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> N/A	
c) Enter number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade: Non-engineered flood openings: <u>0</u> Engineered flood openings: <u>0</u>	
d) Total net open area of non-engineered flood openings in A9.c: <u>0.00</u> sq. in.	
e) Total rated area of engineered flood openings in A9.c (attach documentation – see Instructions): <u>0.00</u> sq. ft.	
f) Sum of A9.d and A9.e rated area (if applicable – see Instructions): <u>0.00</u> sq. ft.	
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION	
B1.a. NFIP Community Name: <u>City of Ocean Springs</u>	B1.b. NFIP Community Identification Number: <u>286259</u>
B2. County Name: <u>Jackson</u>	B3. State: <u>MS</u> B4. Map/Panel No.: <u>28059C0287</u> B5. Suffix: <u>G</u>
B6. FIRM Index Date: <u>03/16/2009</u>	B7. FIRM Panel Effective/Revised Date: <u>03/16/2009</u>
B8. Flood Zone(s): <u>AE</u>	B9. Base Flood Elevation(s) (BFE) (Zone AO, use Base Flood Depth): <u>17</u>
B10. Indicate the source of the BFE data or Base Flood Depth entered in Item B9: <input type="checkbox"/> FIS <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other: _____	
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____	
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA	
B13. Is the building located seaward of the Limit of Moderate Wave Action (LIMWA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

# ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: 504 Jackson Ave	<b>FOR INSURANCE COMPANY USE</b>
City: <u>Ocean Springs</u> State: <u>MS</u> ZIP Code: <u>39564</u>	Policy Number: _____
	Company NAIC Number: _____

## SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

- C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
\*A new Elevation Certificate will be required when construction of the building is complete.
- C2. Elevations – Zones A1–A30, AE, AH, AO, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO, A99. Complete Items C2.a–h below according to the Building Diagram specified in Item A7. In Puerto Rico only, enter meters.  
Benchmark Utilized: GPS Observation Vertical Datum: USM Network

Indicate elevation datum used for the elevations in items a) through h) below.

- NGVD 1929  NAVD 1988  Other: \_\_\_\_\_

Datum used for building elevations must be the same as that used for the BFE. Conversion factor used?  Yes  No  
If Yes, describe the source of the conversion factor in the Section D Comments area.

- |   |              |  |
|---|--------------|--|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor):  | <u>18.50</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| b) Top of the next higher floor (see Instructions):   | _____        | <input type="checkbox"/> feet <input type="checkbox"/> meters            |
| c) Bottom of the lowest horizontal structural member (see Instructions):  | _____        | <input type="checkbox"/> feet <input type="checkbox"/> meters            |
| d) Attached garage (top of slab):   | _____        | <input type="checkbox"/> feet <input type="checkbox"/> meters            |
| e) Lowest elevation of Machinery and Equipment (M&E) servicing the building (describe type of M&E and location in Section D Comments area): | _____        | <input type="checkbox"/> feet <input type="checkbox"/> meters            |
| f) Lowest Adjacent Grade (LAG) next to building: <input type="checkbox"/> Natural <input checked="" type="checkbox"/> Finished              | <u>13.30</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| g) Highest Adjacent Grade (HAG) next to building: <input type="checkbox"/> Natural <input checked="" type="checkbox"/> Finished             | <u>13.50</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |
| h) Finished LAG at lowest elevation of attached deck or stairs, including structural support:   | <u>13.50</u> | <input checked="" type="checkbox"/> feet <input type="checkbox"/> meters |

## SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by state law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor?  Yes  No

Check here if attachments and describe in the Comments area.

Certifier's Name: Jeremy T. Duke, PLS License Number: 3080

Title: Land Surveyor

Company Name: Duke Land Surveying

Address: 4101 Gautier Vancleave Rd Suite 101

City: Gautier State: MS ZIP Code: 39553

Signature:  Date: 10/17/2024

Telephone: 202-1828 Ext.: \_\_\_\_\_ Email: jeremyduke@ymail.com



Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including source of conversion factor in C2; type of equipment and location per C2.e; and description of any attachments):  
The City of Ocean Springs requires 1.5' of freeboard above the Base Flood Elevation of 17'.  
The top of a sewer manhole adjacent to the proposed building was used as a Temporary Benchmark with an elevation of 13.31'.

# ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: 504 Jackson Ave	<b>FOR INSURANCE COMPANY USE</b>
City: <u>Ocean Springs</u> State: <u>MS</u> ZIP Code: <u>39564</u>	Policy Number: _____ Company NAIC Number: _____

## SECTION E – BUILDING MEASUREMENT INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO, ZONE AR/AO, AND ZONE A (WITHOUT BFE)

For Zones AO, AR/AO, and A (without BFE), complete Items E1–E5. For Items E1–E4, use natural grade, if available. If the Certificate is intended to support a Letter of Map Change request, complete Sections A, B, and C. Check the measurement used. In Puerto Rico only, enter meters.

Building measurements are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
\*A new Elevation Certificate will be required when construction of the building is complete.

E1. Provide measurements (C.2.a in applicable Building Diagram) for the following and check the appropriate boxes to show whether the measurement is above or below the natural HAG and the LAG.

a) Top of bottom floor (including basement, crawlspace, or enclosure) is: \_\_\_\_\_  feet  meters  above or  below the HAG.

b) Top of bottom floor (including basement, crawlspace, or enclosure) is: \_\_\_\_\_  feet  meters  above or  below the LAG.

E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (C2.b in applicable Building Diagram) of the building is: \_\_\_\_\_  feet  meters  above or  below the HAG.

E3. Attached garage (top of slab) is: \_\_\_\_\_  feet  meters  above or  below the HAG.

E4. Top of platform of machinery and/or equipment servicing the building is: \_\_\_\_\_  feet  meters  above or  below the HAG.

E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown The local official must certify this information in Section G.

## SECTION F – PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without BFE) or Zone AO must sign here. *The statements in Sections A, B, and E are correct to the best of my knowledge*

Check here if attachments and describe in the Comments area.

Property Owner or Owner's Authorized Representative Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ ZIP Code: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Telephone: \_\_\_\_\_ Ext.: \_\_\_\_\_ Email: \_\_\_\_\_

Comments: \_\_\_\_\_

# ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: 504 Jackson Ave	<b>FOR INSURANCE COMPANY USE</b>
City: <u>Ocean Springs</u> State: <u>MS</u> ZIP Code: <u>39564</u>	Policy Number: _____
	Company NAIC Number: _____

## SECTION G – COMMUNITY INFORMATION (RECOMMENDED FOR COMMUNITY OFFICIAL COMPLETION)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Section A, B, C, E, G, or H of this Elevation Certificate. Complete the applicable item(s) and sign below when:

- G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by state law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.a.  A local official completed Section E for a building located in Zone A (without a BFE), Zone AO, or Zone AR/AO, or when Item E6 is completed for a building located in Zone AO.
- G2.b.  A local official completed Section H for insurance purposes.
- G3.  In the Comments area of Section G, the local official describes specific corrections to the information in Sections A, B, E and H.
- G4.  The following information (Items G5–G11) is provided for community floodplain management purposes.
- G5. Permit Number: \_\_\_\_\_ G6. Date Permit Issued: \_\_\_\_\_
- G7. Date Certificate of Compliance/Occupancy Issued: \_\_\_\_\_
- G8. This permit has been issued for:  New Construction  Substantial Improvement
- G9.a. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_  feet  meters Datum: \_\_\_\_\_
- G9.b. Elevation of bottom of as-built lowest horizontal structural member: \_\_\_\_\_  feet  meters Datum: \_\_\_\_\_
- G10.a. BFE (or depth in Zone AO) of flooding at the building site: \_\_\_\_\_  feet  meters Datum: \_\_\_\_\_
- G10.b. Community's minimum elevation (or depth in Zone AO) requirement for the lowest floor or lowest horizontal structural member: \_\_\_\_\_  feet  meters Datum: \_\_\_\_\_
- G11. Variance issued?  Yes  No If yes, attach documentation and describe in the Comments area.

The local official who provides information in Section G must sign here. *I have completed the information in Section G and certify that it is correct to the best of my knowledge. If applicable, I have also provided specific corrections in the Comments area of this section.*

Local Official's Name: \_\_\_\_\_ Title: \_\_\_\_\_

NFIP Community Name: \_\_\_\_\_

Telephone: \_\_\_\_\_ Ext.: \_\_\_\_\_ Email: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ ZIP Code: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Comments (including type of equipment and location, per C2.e; description of any attachments; and corrections to specific information in Sections A, B, D, E, or H):

# ELEVATION CERTIFICATE

IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: 504 Jackson Ave	<b>FOR INSURANCE COMPANY USE</b>
City: <u>Ocean Springs</u> State: <u>MS</u> ZIP Code: <u>39564</u>	Policy Number: _____ Company NAIC Number: _____

## SECTION H – BUILDING'S FIRST FLOOR HEIGHT INFORMATION FOR ALL ZONES (SURVEY NOT REQUIRED) (FOR INSURANCE PURPOSES ONLY)

The property owner, owner's authorized representative, or local floodplain management official may complete Section H for all flood zones to determine the building's first floor height for insurance purposes. Sections A, B, and I must also be completed. Enter heights to the nearest tenth of a foot (nearest tenth of a meter in Puerto Rico). *Reference the Foundation Type Diagrams (at the end of Section H Instructions) and the appropriate Building Diagrams (at the end of Section I Instructions) to complete this section.*

H1. Provide the height of the top of the floor (as indicated in Foundation Type Diagrams) above the Lowest Adjacent Grade (LAG):

a) For Building Diagrams 1A, 1B, 3, and 5-9. Top of bottom \_\_\_\_\_  feet  meters  above the LAG floor (include above-grade floors only for buildings with subgrade crawlspaces or enclosure floors) is:

b) For Building Diagrams 2A, 2B, 4, and 6-9. Top of next higher floor (i.e., the floor above basement, crawlspace, or enclosure floor) is: \_\_\_\_\_  feet  meters  above the LAG

H2. Is all Machinery and Equipment servicing the building (as listed in Item H2 Instructions) elevated to or above the floor indicated by the H2 arrow (shown in the Foundation Type Diagrams at end of Section H Instructions) for the appropriate Building Diagram?

Yes  No

## SECTION I – PROPERTY OWNER (OR OWNER'S AUTHORIZED REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and H must sign here. *The statements in Sections A, B, and H are correct to the best of my knowledge. Note:* If the local floodplain management official completed Section H, they should indicate in Item G2.b and sign Section G.

Check here if attachments are provided (including required photos) and describe each attachment in the Comments area.

Property Owner or Owner's Authorized Representative Name: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ ZIP Code: \_\_\_\_\_

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Telephone: \_\_\_\_\_ Ext.: \_\_\_\_\_ Email: \_\_\_\_\_

Comments: \_\_\_\_\_

**ELEVATION CERTIFICATE**  
**IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19**  
**BUILDING PHOTOGRAPHS**

See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: <u>504 Jackson Ave</u>	<b>FOR INSURANCE COMPANY USE</b>
City: <u>Ocean Springs</u> State: <u>MS</u> ZIP Code: <u>39564</u>	Policy Number: _____
	Company NAIC Number: _____

Instructions: Insert below at least two and when possible four photographs showing each side of the building (for example, may only be able to take front and back pictures of townhouses/rowhouses). Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." Photographs must show the foundation. When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.

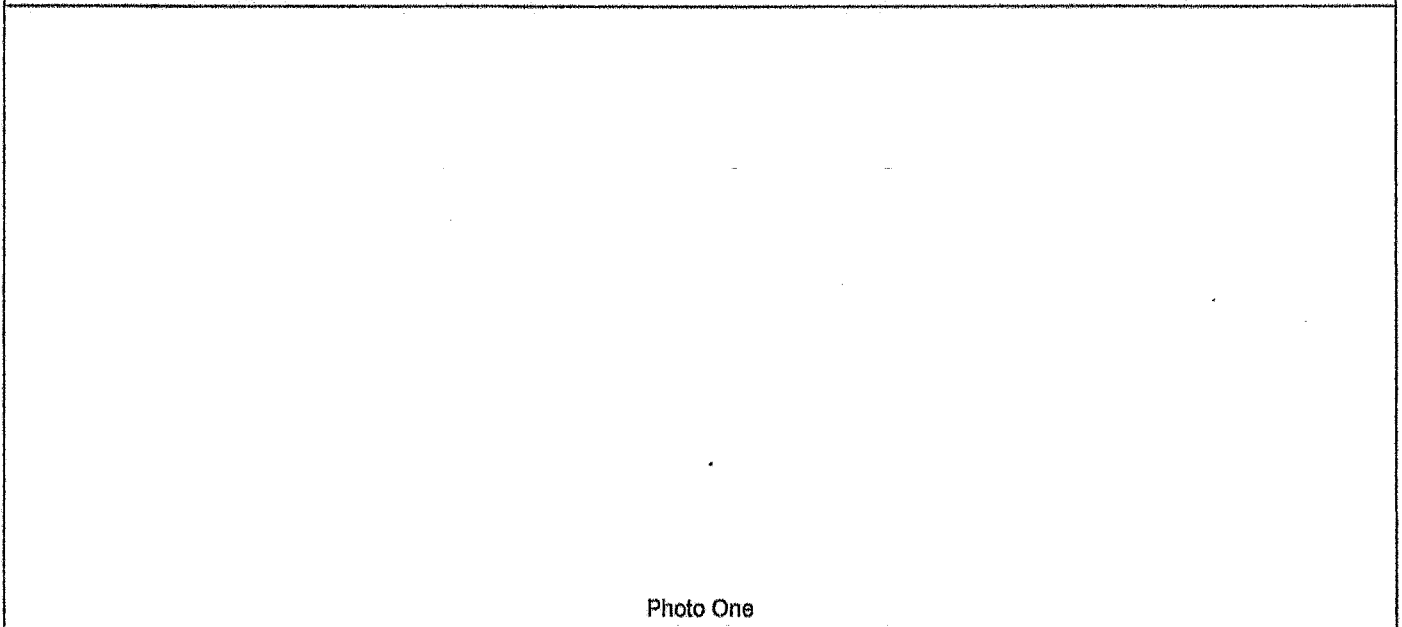


Photo One Caption:

Clear Photo One

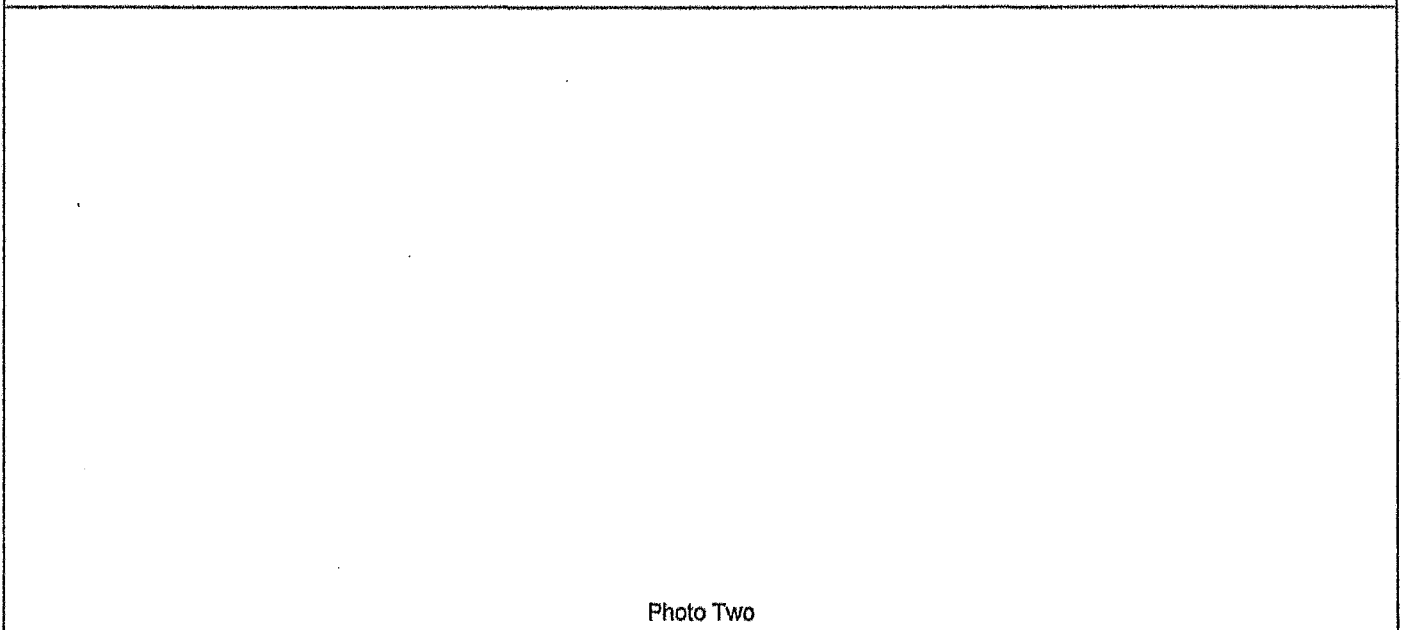


Photo Two Caption:

Clear Photo Two

**ELEVATION CERTIFICATE**  
**IMPORTANT: MUST FOLLOW THE INSTRUCTIONS ON PAGES 9-19**  
**BUILDING PHOTOGRAPHS**  
See Instructions for Item A6.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.: <u>504 Jackson Ave</u>	<b>FOR INSURANCE COMPANY USE</b>
City: <u>Ocean Springs</u> State: <u>MS</u> ZIP Code: <u>39564</u>	Policy Number: _____
	Company NAIC Number: _____

Instructions: Insert below at least two and when possible four photographs showing each side of the building (for example, may only be able to take front and back pictures of townhouses/rowhouses). Identify all photographs with the date taken and "Front View," "Rear View," "Right Side View," or "Left Side View." Photographs must show the foundation. When flood openings are present, include at least one close-up photograph of representative flood openings or vents, as indicated in Sections A8 and A9.

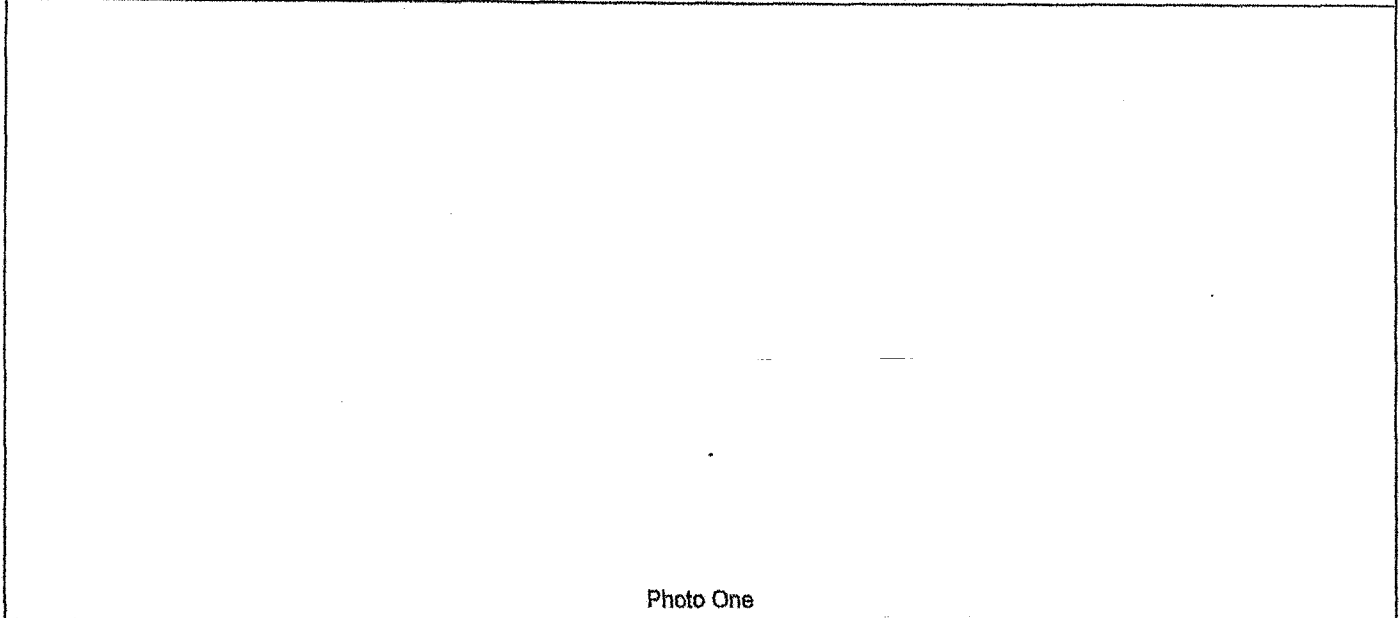


Photo One

Photo One Caption:	<input type="button" value="Clear Photo One"/>
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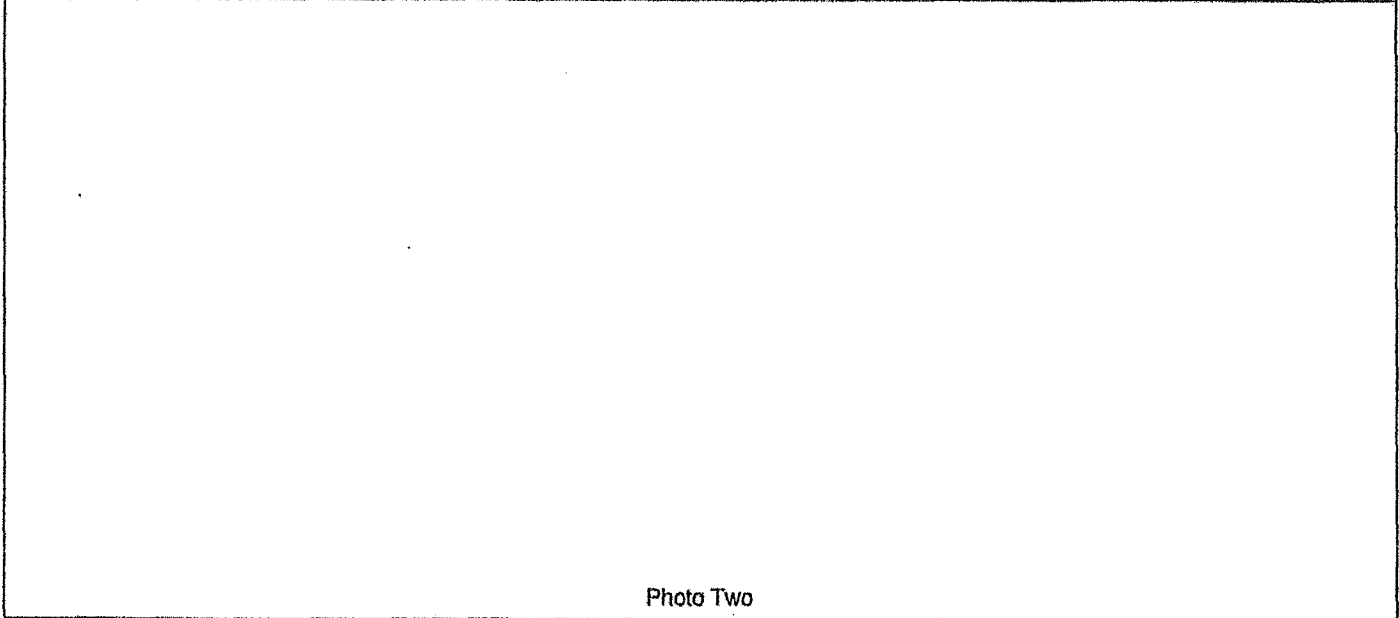


Photo Two

Photo Two Caption:	<input type="button" value="Clear Photo Two"/>
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**CITY OF OCEAN SPRINGS  
COMMUNITY DEVELOPMENT AND PLANNING  
POST OFFICE BOX 1800  
OCEAN SPRINGS, MS 39566-1800  
228-875-4415**

**HISTORIC PRESERVATION COMMISSION REPORT**

**MEETING DATE:** May 19, 2025 (Special Call Meeting)

**APPLICANT:** Harley Klein

**CURRENT OWNER:** Harley Klein  
Angela Klein

**REQUESTED ACTION:** Approval of Certificate of Appropriateness to demolish and replace the existing awning, repair and replace the porch screen and framing, repair any damaged trim and siding.

**DATE OF APPLICATION:** April 7, 2025

**LOCATION:** 515 Rayburn Ave  
Old Ocean Springs Historic District

**PARCLE NUMBER:** 60137596.000

**DESCRIPTION OF THE REQUEST:**

The applicant proposes to demolish and replace the existing awning, repair and replace porch screen and framing, repair any damaged trim and siding.

**ADJACENT ZONING/LAND USE:**

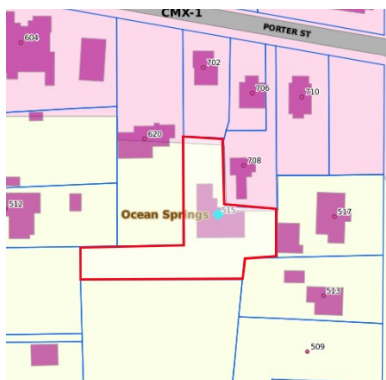
**Subject Property:** R-1 Low Density Single Family/single-family dwelling

**North:** CMX-1 Neighborhood Commercial/Mixed Use

**South:** R-1 Low Density Single Family

**East:** R-1 Low Density Single Family

**West:** R-1 Low Density Single Family



## **MS DEPT. OF ARCHIVES AND HISTORY RESOURCES INVENTORY:**

- **BRIEF DESCRIPTION:** Two-story, frame, Craftsman Vernacular side-gable Bungalow with a shed full-width porch supported by square wood posts on the south elevation. An enclosed gable partial porch, with a pent, is on the north elevation. Windows are 5/1 wood double-hung-sash and 2/2 aluminum d-h-s. The house has clapboard siding, exposed rafters, and an asphalt shingle roof. It has been elevated one story and the resulting space enclosed with concrete block walls to create living space. A two-story, side-gable wing projects from the east side. A one-story, concrete block, front-gable addition with a shed-roof sunroom has been added on the north elevation.
- **CONTEXT/COMMENTS:** This house is located in the middle of a block bounded on the north by Porter Avenue, south by Cleveland Avenue, east by Rayburn Avenue, and west by Martin Avenue. The property is not accessed by a drive way, and there is neither a clear front entrance nor does the property boundary coincide with a street at any point. The Jackson County Tax Assessor's online GIS database does not have an address listed for this residence.

## **FINDINGS:**

- The applicant proposes to:
  - Demolish existing awning and wrought iron corner support
    - Replace with similar designed timber frame awning with a corrugated metal roof
    - Wrought iron support will be replaced with a wooden post
  - Repainting the entire house using a two-tone color scheme
    - First floor: Benjamin Moore – Seattle Gray 2130-70
    - Second floor: Benjamin Moore – Ice Slate 2130-60
    - Trim and railings will be painted white
    - Doors will remain black
  - Repair and replace porch screens and framing
    - Horizontal railing will be replaced with vertical wood double picket railing
  - Repair and replace damaged trim and siding
    - Replaced using original material – Fascia
- The following Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.
  - A property shall be used for its historic purpose or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.

- The historic character of a property shall be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property shall be avoided.
- Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, shall not be undertaken.
- Changes to a property that have acquired historic significance in their own right shall be retained and preserved.
- Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
- Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and where possible, materials. Replacement of missing features shall be substantiated by documentary and physical evidence.
- Chemical or physical treatments, if appropriate, shall be undertaken using the gentlest means possible. Treatments that cause damage to historic materials shall not be used.
- Archeological resources shall be protected and preserved in place. If such resources must be disturbed, mitigation measures shall be undertaken.
- New additions, exterior alterations, or related new construction shall not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and shall be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- New additions and adjacent or related new construction shall be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**PUBLIC FEEDBACK:**

None received as of April 25, 2025.

**POTENTIAL MOTION:**

To recommend **approval** of a COA for the demolish and repairs for 515 Rayburn Ave as described in the application.

**-OR-**

To recommend **denial** of a COA for the demolish and repairs for 515 Rayburn Ave as described in the application.



City of Ocean Springs  
 Historic Preservation Commission  
 1018 Porter Avenue / PO Box 1800 Ocean Springs, MS 39564  
 (228) 875-4415

— CERTIFICATE OF APPROPRIATENESS APPLICATION —

**Application Date:** 4/7/25  
 [Applications are due by the 7th of each month for consideration the FOLLOWING month.]

**APPLICATION FEE: \$51.00 – Cash, Check (Payable to CITY OF OCEAN SPRINGS), C/C – 3% fee**  
 \$1.00 fee is per Ordinance 2022-17 following requirements of Section 25-60-5 MS Code Annotated

**\*\*\*\*\* APPLICANT MUST ATTEND HEARING \*\*\*\*\***

**Property Address:** 515 Rayburn Ave, Ocean Springs, MS  
**Property Owner(s):** Harley & Angel Klein  
**Parcel ID Number:** 60137596.000      **Approximate Age of Home:** 75 years

**ACCESS:** Upon application submittal, City Officials and HPC Members are authorized to enter property to view proposal unless checked below.

**Check here** if City Officials and HPC members **DO NOT** have permission to enter property.

**Applicant [Check one]:**  Architect    Contractor    Owner    Other \_\_\_\_\_

**Name:** Harley Klein  
**Address:** 515 Rayburn Ave  
**City:** Ocean Springs      **State:** MS      **Zip:** 39564  
**Phone:** (518) 339-1842      **Email:** harleyklein@gmail.com

**Property Owner [if Different]:**

**Name:** \_\_\_\_\_  
**Address:** \_\_\_\_\_  
**City:** \_\_\_\_\_      **State:** \_\_\_\_\_      **Zip:** \_\_\_\_\_  
**Phone:** \_\_\_\_\_      **Email:** \_\_\_\_\_

**DIRECTIONS:** Check box which best represents your request (more than one box may be checked), and **ATTACH** the corresponding checklist to help ensure a complete application.

- |   |  |
|---|--|
| <input type="checkbox"/> New Construction, Additions, Extensive Renovation / Repair | <input checked="" type="checkbox"/> Landscaping and Site Improvements (i.e. Fencing) |
| <input checked="" type="checkbox"/> Minor Renovation / Repair                       | <input type="checkbox"/> Signage   |
| <input type="checkbox"/> Exterior Painting (Contributing Structures Only)           | <input type="checkbox"/> Demolition  |

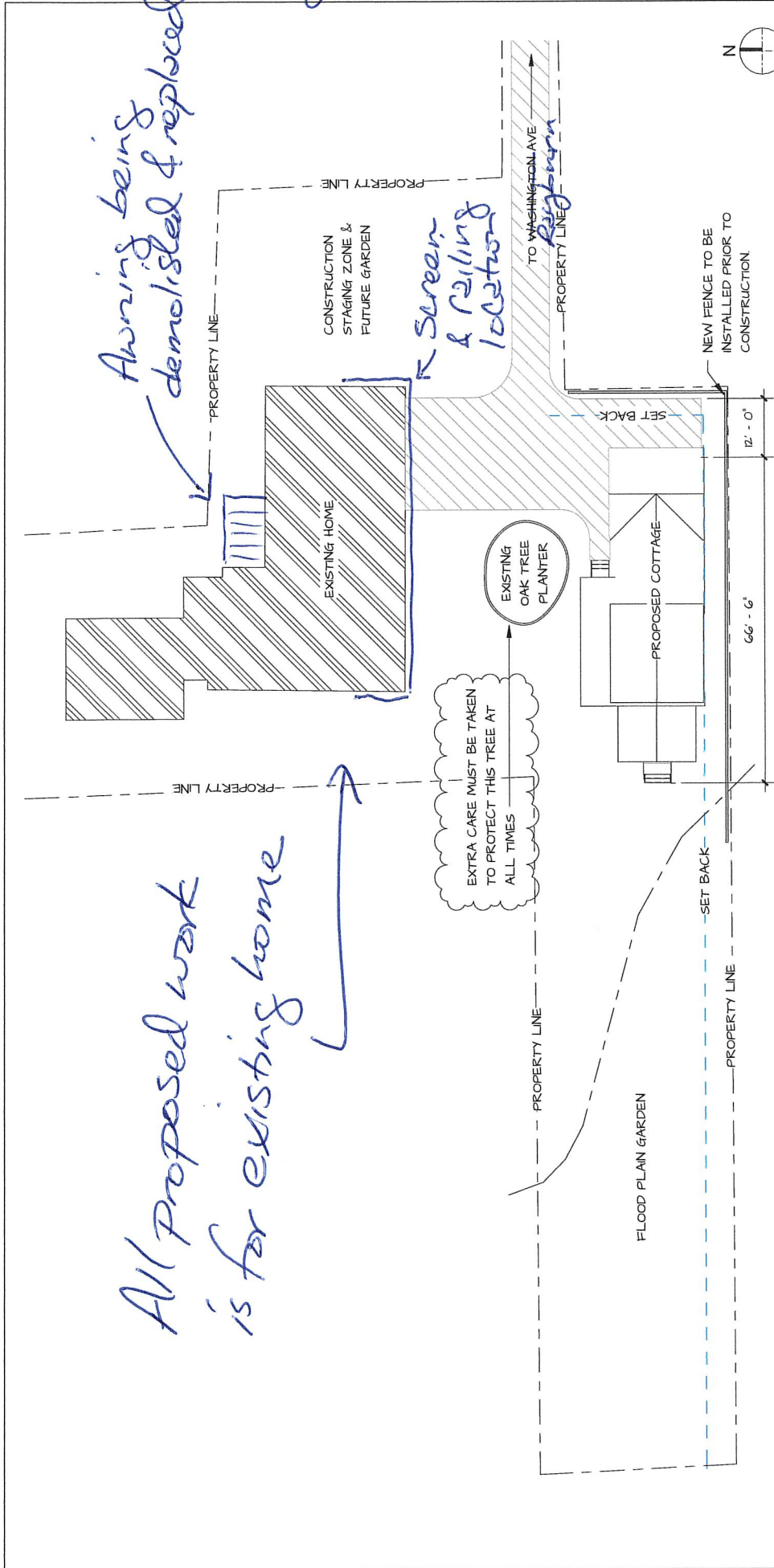
# 515 Rayburn Ave Site Plan

All proposed work is for existing home

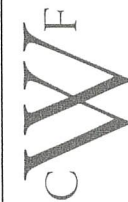
Awning being demolished & replaced

Screen & railing location

Rayburn Ave



1 SITE PLAN  
1" = 20'-0"



KLEIN COTTAGE  
515 RAYBURN AVE  
OCEAN SPRINGS, MS  
39564

THESE DRAWINGS ARE SCHEMATIC AND FOR THE PURPOSE OF OSHPC SUBMISSION ONLY.

NOT FOR CONSTRUCTION

## SITE PLAN

Project No.	24-020	Drawing No.	A001
Date	11/06/2024	Alternate No.	
Addendum No.		Scale	1" = 20'-0"



— CERTIFICATE OF APPROPRIATENESS APPLICATION —  
**DESCRIPTION OF REQUEST ATTACHMENT FOR:**

**MINOR RENOVATION OR REPAIR**

**NOTE:** Architectural plans and rendering are encouraged; if not available, roughly scaled and dimensional drawings will suffice. Documentation must be provided in a format that can be easily copied for the design process. Architectural drawing, construction details, landscape plans, etc., should be printed on paper no larger than 11" X 17". HPC is concerned with exterior features. Interior floor plans and features are not necessary.

**Required Attachments:**

1. For work which includes changes to the exterior of existing buildings, the following is required:
  - a. \_\_\_ Elevations;
  - b. \_\_\_ Floor Plans; and
  - c. \_\_\_ Photographs of each face of the building to be renovated with details of the areas of work.

Description: - Replacement of like-designed awning  
as noted in the demolition attachment  
- Repair and replacement of the porch screens  
and framing noted in the site improvements  
attachment  
- Repair ~~and~~ and replacement of damaged  
trim and siding noted in the exterior  
painting attachment.

— Attach Additional Sheets if Needed —



**Replace damaged screens and wood framing and replace horizontal railing with double picket railing similar to that shown in photo to the right**





— CERTIFICATE OF APPROPRIATENESS APPLICATION —

**DESCRIPTION OF REQUEST ATTACHMENT FOR:**

**DEMOLITION**

**NOTE:** Architectural plans and rendering are encouraged; if not available, roughly scaled and dimensional drawings will suffice. Documentation must be provided in a format that can be easily copied for the design process. Architectural drawing, construction details, landscape plans, etc., should be printed on paper no larger than 11" X 17". HPC is concerned with exterior features. Interior floor plans and features are not necessary.

**Required Attachments:**

- a. X Photographs of all sides of the structure to be removed;
- b. X Site plan showing locations of structures, fences, walls, walkways, and protected trees;
- c. X Provide a sketch showing intent for the property. In considering an application for the demolition of a landmark or resource with a historic district, the following shall be considered:
  1. The individual historical or architectural significance of the resource;
  2. The importance or contribution of the resource to the aesthetics of the district;
  3. The difficulty or impossibility of reproducing such a resource because of its texture, design, material, or detail; and
  4. The proposed replacement structure and the future utilization.

**Description:** Demolish existing awning because of  
extensive insect and moisture-related damage  
as well as deterioration at the base of the  
wrought iron corner support (see attached  
photos). Plan to replace with similarly-designed  
timber frame awning with a corrugated metal  
roof. The only change will be the use of a  
wooden post instead of wrought iron for the support.

— Attach Additional Sheets if Needed —

**View from the east side of awning**



**View from the north side of awning**

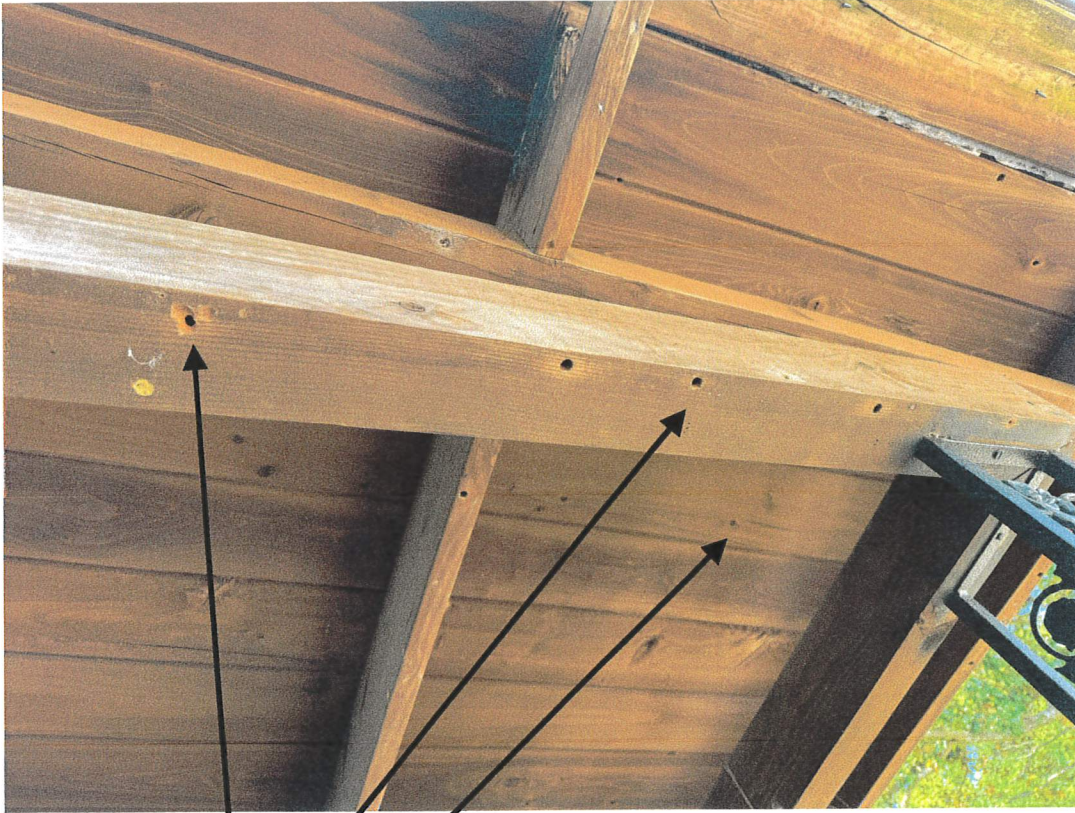




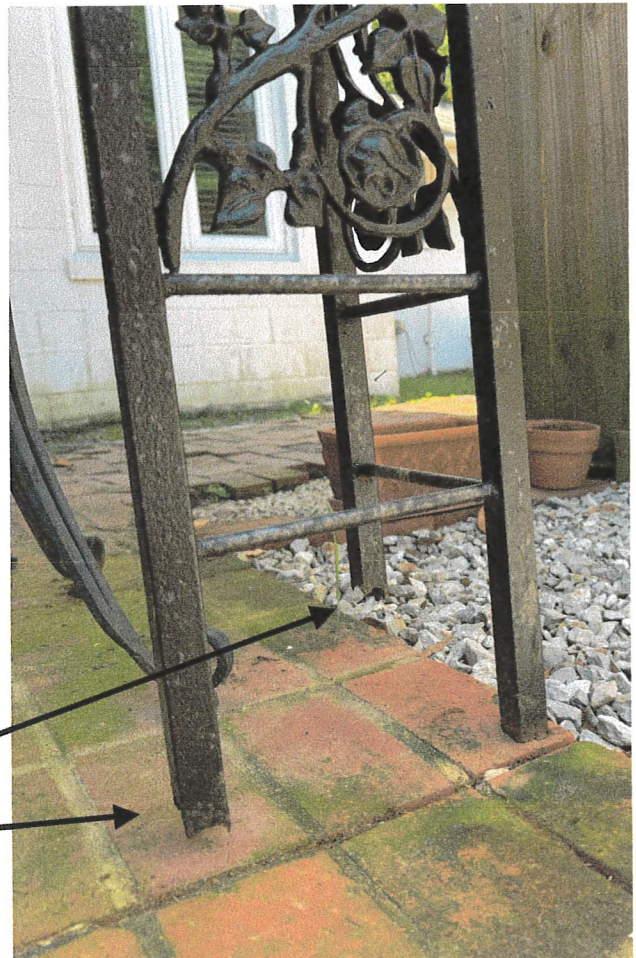
**Extensive water damage**



**Carpenter bee damage  
(see photo below)**



**Extensive carpenter  
bee damage**



**Deterioration at base of  
wrought iron support**



— CERTIFICATE OF APPROPRIATENESS APPLICATION —  
**DESCRIPTION OF REQUEST ATTACHMENT FOR:**

**New Construction, Additions, Extensive Renovation / Repair**

**NOTE:** Architectural plans and rendering are encouraged; if not available, roughly scaled and dimensional drawings will suffice. Documentation must be provided in a format that can be easily copied for the design process. Architectural drawing, construction details, landscape plans, etc., should be printed on paper no larger than 11" X 17". HPC is concerned with exterior features. Interior floor plans and features are not necessary.

**Required Attachments:**

1. **Two (2)** sets of scaled drawing, which shall include:
  - a. \_\_\_\_\_ A site plan illustrating location of proposal as well as all other structures on the site, with dimensions, setback distances, landscaping, driveways, walkways and protected trees.;
  - b. \_\_\_\_\_ A floor plan, with dimensions as it impacts the exterior of the structure;
  - c. \_\_\_\_\_ A drawing with dimensions of all affected exterior elevations;
  - d. \_\_\_\_\_ Notes describing exterior materials to be used. (i.e. walls, roof, trim, cornice, windows, doors, etc.);
  - e. \_\_\_\_\_ Detailed drawings or photographs of any decorative architectural details. (i.e. columns, balustrades, modillions, etc.); and
  - f. \_\_\_\_\_ Paint samples and plan keyed to location of each color (*Pivotal Structures Only*).
2. Photographs of the subject structure to be worked on, and adjacent property structures.
  - a. \_\_\_\_\_ Subject property; and
  - b. \_\_\_\_\_ Adjacent property structures.

**Description:** \_\_\_\_\_  
\_\_\_\_\_ *N/A* \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

— **Attach Additional Sheets if Needed** —



— CERTIFICATE OF APPROPRIATENESS APPLICATION —

**DESCRIPTION OF REQUEST ATTACHMENT FOR:**

**EXTERIOR PAINTING (CONTRIBUTING STRUCTURES ONLY)**

**NOTE:** Architectural plans and rendering are encouraged; if not available, roughly scaled and dimensional drawings will suffice. Documentation must be provided in a format that can be easily copied for the design process. Architectural drawing, construction details, landscape plans, etc., should be printed on paper no larger than 11" X 17". HPC is concerned with exterior features. Interior floor plans and features are not necessary.

**Required Attachments:**

1. Period color schemes are encouraged; however, other colors may be acceptable. **Submit color samples for:**
  - a. \_\_\_\_\_ Main Body;
  - b. \_\_\_\_\_ Trim or Decorative Features; and
  - c. \_\_\_\_\_ Accent areas such as lattice, shutters, porch, deck, etc.

**Description:** We are repainting the entire home  
using a two-tone color scheme. The first floor  
will be Benjamin Moore (BM) Seattle Gray.  
The second story will be BM Iced Slate.  
All trim and railings will be painted white  
(See included color samples). Doors will remain  
black.

— Attach Additional Sheets if Needed —

Front views of home (south side)



East side of home



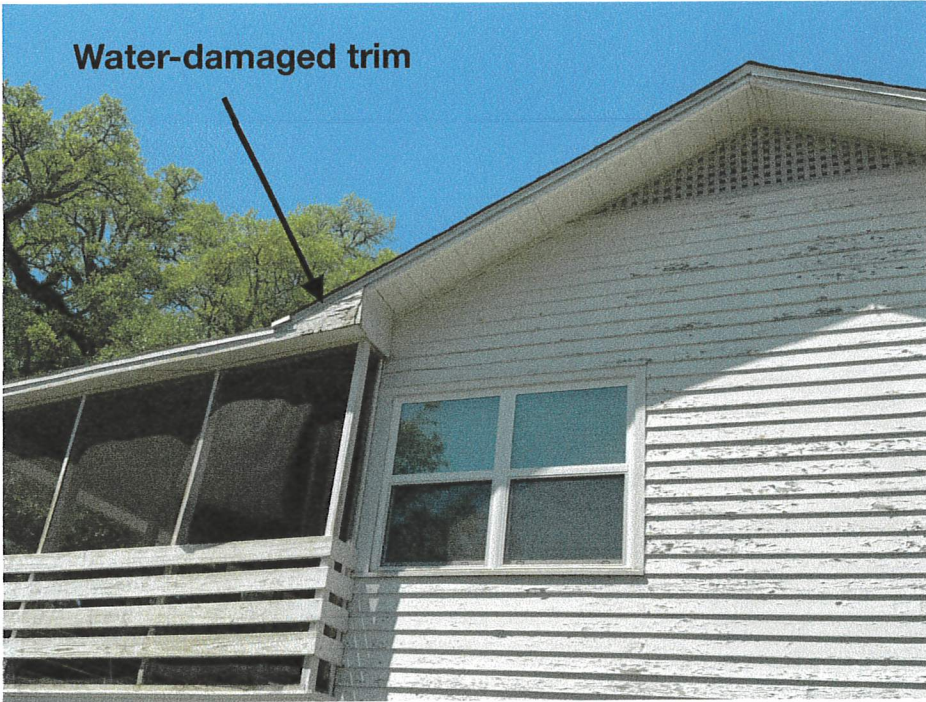
**Rear of home (north side)**



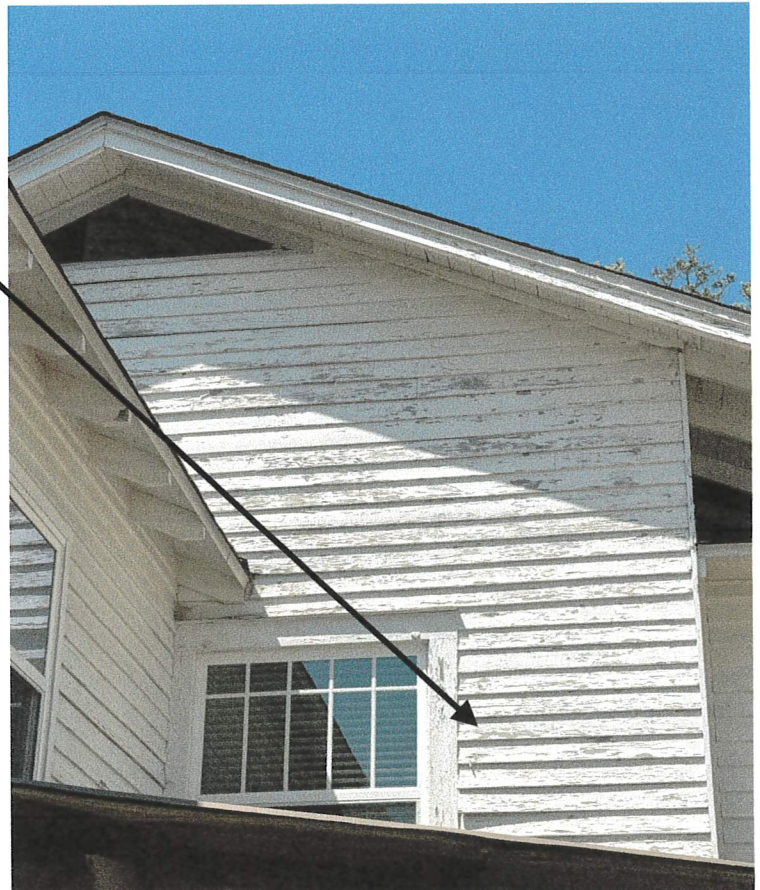
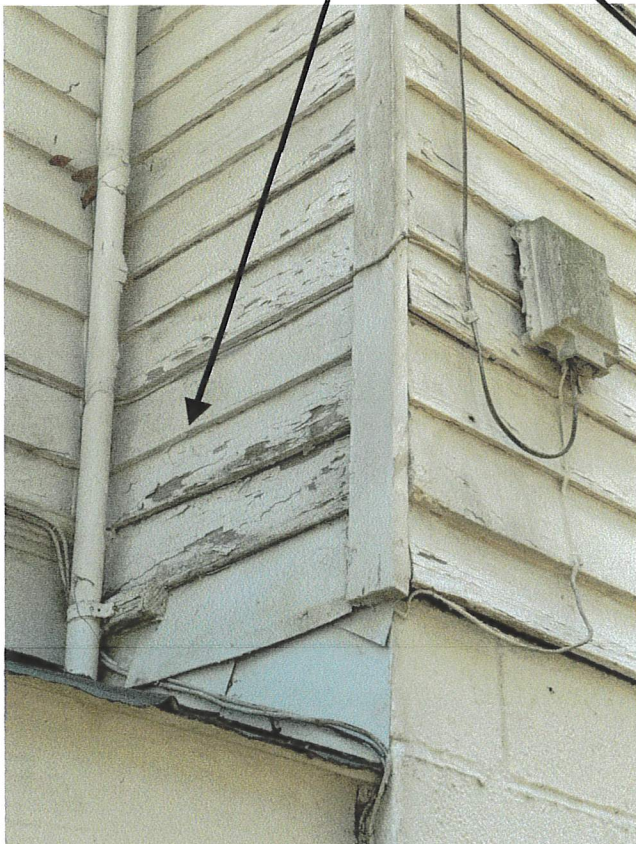
**West side of home**



Examples of trim and siding needing potential repair or replacement



Potentially  
Damaged siding



**CITY OF OCEAN SPRINGS  
COMMUNITY DEVELOPMENT AND PLANNING  
POST OFFICE BOX 1800  
OCEAN SPRINGS, MS 39566-1800  
228-875-4415**

**HISTORIC PRESERVATION COMMISSION REPORT**

**MEETING DATE:** May 19, 2025 (Special Call Meeting)

**APPLICANT:** Frances Sue White-Blessey

**CURRENT OWNER:** Frances Sue White-Blessey

**REQUESTED ACTION:** Approval of Certificate of Appropriateness to replace existing 4 foot fence.

**DATE OF APPLICATION:** March 7, 2025

**LOCATION:** 110 Shearwater Drive  
Shearwater Historic District

**PARCLE NUMBER:** 60130590.070

**DESCRIPTION OF THE REQUEST:**

The applicant proposes replacing an existing 4 foot wood fence with a new 4 foot white vinyl fence. The fence is located on the South side of the house.

**ADJACENT ZONING/LAND USE:**

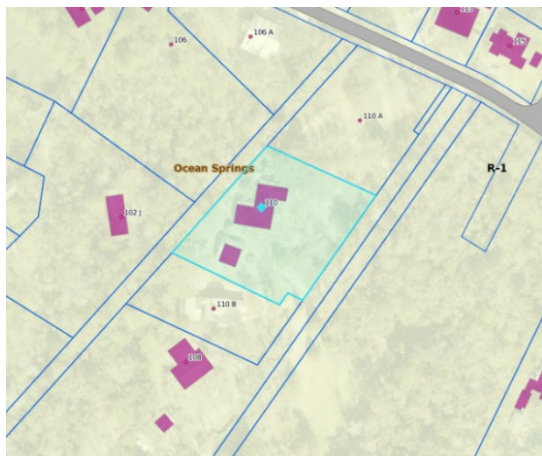
**Subject Property:** R-1 Low Density Single Family/single-family dwelling

**North:** R-1 Low Density Single Family

**South:** R-1 Low Density Single Family

**East:** R-1 Low Density Single Family

**West:** R-1 Low Density Single Family



### **SHEARWATER HISTORIC DISTRICT:**

- The Shearwater Historic District consists of a series of bluffs overlooking the Mississippi Sound. The area includes a variety of water-oriented residential architecture secluded by long drives and intense vegetation. More recent construction respects the integrity of the dynamic waterfront sites providing a visual record of architectural development in Ocean Springs.
- This area, the site of continuous occupation since the early 1800s, includes the remnants of two grand estates. On the c. 1850 Kendall property, an ice house and two gravesites remain. The Tiffen Place encompasses the c. 1840 Greek Revival residence and its dependencies; Mrs. Annette McConnell Anderson purchased this property in 1918 as an artist's colony and idyllic setting. Her three children included Peter, Walter, and Mac. Named Shearwater Pottery, the compound served as the family home and became the site of multiple pottery buildings, which have remained in continuous use. Residential construction in proximity to these estates developed primarily between 1937 and 1978.
- The district is significant as the site of Shearwater Pottery, nationally recognized through the works of Walter Inglis Anderson (1903-1965), muralist, potter, and artist, and the pottery of his brother, Peter. The site and setting, more so than the architecture, define the visual character of the pottery complex. The tree-shaded properties facing the sound represent examples of the southern farmhouse, Bungalow, French Provincial farmhouse, and Colonial Revival.

### **FINDINGS:**

- The existing fence is a 4 foot brown fence that has rotted and applicant is proposing to change it to a 4 foot white vinyl fence. The fence is on the south side of the house so and has minimal visibility from Shearwater Drive.
- According to the Historic District Guidelines, the Shearwater District includes a, “variety of water-oriented residential architecture secluded by long drives and intense vegetation. More recent construction respects the integrity of the dynamic waterfront sites providing a visual record of architectural development in Ocean Springs.”
- New walls or fences should closely follow established precedent within the district. Front yard fences should not exceed four feet in height and should have open rather than solid designs. The fence design should be consistent with the style of the house on the property. For example, a wrought iron fence does not match the style of a Craftsman bungalow. Chain-link, concrete blocks, split-rails, and railroad ties are inappropriate materials for front yards.
- Historic fences, especially those with a high degree of design, should be carefully maintained and preserved.

**PUBLIC FEEDBACK:**

None received as of April 25, 2025.

**POTENTIAL MOTION:**

To recommend **approval** of a COA to replace existing 4 foot fence with a new 4 foot white vinyl fence for 110 Shearwater Drive.

**-OR-**

To recommend **denial** of a COA to replace existing 4 foot fence with a new 4 foot white vinyl fence for 110 Shearwater Drive.



City of Ocean Springs  
Historic Preservation Commission  
1018 Porter Avenue / PO Box 1800 Ocean Springs, MS 39564  
(228) 875-4415

— CERTIFICATE OF APPROPRIATENESS APPLICATION —

**Application Date:** \_\_\_\_\_  
[Applications are due by the 7th of each month for consideration the FOLLOWING month.]  
**APPLICATION FEE: \$51.00 – Cash, Check (Payable to CITY OF OCEAN SPRINGS), C/C – 3% fee**  
\$1.00 fee is per Ordinance 2022-17 following requirements of Section 25-60-5 MS Code Annotated  
**\*\*\*\*\* APPLICANT MUST ATTEND HEARING \*\*\*\*\***

**Property Address:** 110 Shearwater Dr, O.S. MS.  
**Property Owner(s):** Frances Sue White - Blessey  
**Parcel ID Number:** 60130590.070      **Approximate Age of Home:** 40 years

**ACCESS:** Upon application submittal, City Officials and HPC Members are authorized to enter property to view proposal unless checked below.  
 **Check here** if City Officials and HPC members **DO NOT** have permission to enter property.

**Applicant [Check one]:**  Architect     Contractor     Owner     Other \_\_\_\_\_

**Name:** Frances Sue White - Blessey  
**Address:** 110 Shearwater Dr.  
**City:** Ocean Springs, MS      **State:** \_\_\_\_\_      **Zip:** \_\_\_\_\_  
**Phone:** 228 990 4072      **Email:** Frances White 1963@gmail.com

**Property Owner [if Different]:**  
**Name:** Same  
**Address:** \_\_\_\_\_  
**City:** \_\_\_\_\_      **State:** \_\_\_\_\_      **Zip:** \_\_\_\_\_  
**Phone:** \_\_\_\_\_      **Email:** \_\_\_\_\_

**DIRECTIONS:** Check box which best represents your request (more than one box may be checked), and **ATTACH** the corresponding checklist to help ensure a complete application.

- New Construction, Additions, Extensive Renovation / Repair
- Minor Renovation / Repair
- Exterior Painting (Contributing Structures Only)
- Landscaping and Site Improvements (i.e. Fencing)
- Signage
- Demolition



— CERTIFICATE OF APPROPRIATENESS APPLICATION —  
**DESCRIPTION OF REQUEST ATTACHMENT FOR:**

**LANDSCAPING AND SITE IMPROVEMENTS SUCH AS FENCING**

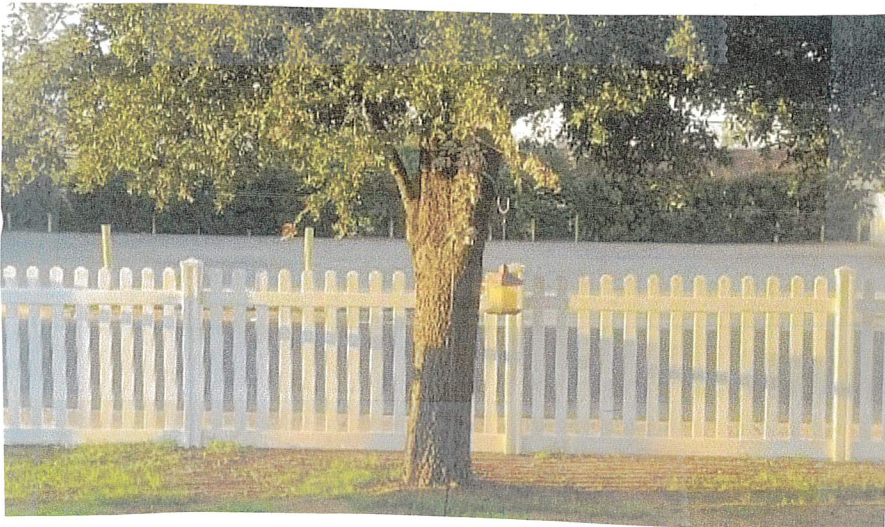
**NOTE:** Architectural plans and rendering are encouraged; if not available, roughly scaled and dimensional drawings will suffice. Documentation must be provided in a format that can be easily copied for the design process. Architectural drawing, construction details, landscape plans, etc., should be printed on paper no larger than 11" X 17". HPC is concerned with exterior features. Interior floor plans and features are not necessary.

**Required Attachments:**

- a.  Drawing or photograph of the type of fence, wall, or gate proposed;
- b.  Site plan with dimensions, showing placement of any proposed change to the property as it relates to the property boundaries and all other buildings or site facilities – including protected trees; and
- c.  A description of the materials to be used.

**Description:** \_\_\_\_\_

Vinyl Picket Fence Panel w/ Post and cap  
 Brand: Warm Barn Fence (white)  
 Height: 4' tall (for small dog yard at back of house)  
 Thickness: 2"  
 Width per panel is 84" wide Need 8 panels



ended —

PLEASE CHECK DISTRICT/LISTING

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> BOWEN          | <input type="checkbox"/> MARBLE SPRINGS    | <input checked="" type="checkbox"/> SHEARWATER |
| <input type="checkbox"/> INDIAN SPRINGS | <input type="checkbox"/> OLD OCEAN SPRINGS | <input type="checkbox"/> SULLIVAN-CHARNELY     |
| <input type="checkbox"/> LOVER'S LANE   | <input type="checkbox"/> RAILROAD          | <input type="checkbox"/> INDIVIDUAL LISTING    |

**Requirements:**

- All work in the Historic District OR on Individually Listed Structures must comply with the *City of Ocean Springs Historic District Design Guidelines*. The Guidelines are available at City Hall and for review at the Ocean Springs Library. This form must be completed in its entirety, with any attachments, before Historic Preservation Commission (HPC) consideration will be scheduled. Incomplete applications can result in project delays.
- Architectural plans and rendering are encouraged; if not available, roughly scaled and dimensional drawings will suffice. Documentation must be provided in a format that can be easily copied for the design process. Architectural drawing, construction details, landscape plans, etc., should be printed on paper no larger than 11" X 17". HPC is concerned with exterior features. Interior floor plans and features are not necessary.
- **SIGN:** A sign will be placed in the front yard of the property prior to the HPC meeting to notify surrounding property owners of pending application. If the sign is not returned a \$ 25.00 fee will be assessed with the building permit.

**Notes:**

- Certificate of Appropriateness (COA) remains in force for two (2) years and may be extended for one (1) additional year. However, if a period of one (1) year passes and no initial construction has occurred, the COA is voided, and a new application must be submitted and approved before work may begin.
- Certificate of Appropriateness does not relieve the Property Owner from the responsibility of obtaining any other required permits. Building and other permits may be required, even if a COA is not required. For more information contact the Building Department at (228) 875-6712.
- The information on this application represents an accurate description of the proposed work and the undersigned has omitted nothing which might affect the decision of the Commission. The undersigned hereby certifies that the project described in the application, as detailed by plans and specification attached, will be constructed in exact accordance with aforesaid plans and specifications. It is understood that a Building Permit will be required in addition to the Certificate of Appropriateness. Oath not required, but answer subject to rules of perjury.

Frances Sue White-Blessey

Printed Name of Owner

Frances Sue White-Blessey

Signature of Owner

\_\_\_\_\_  
Printed Name of Authorized Agent

\_\_\_\_\_  
Signature of Authorized Agent

\_\_\_\_\_  
Date

**\*\*\*\*\* APPLICANT MUST ATTEND HEARING \*\*\*\*\***

# Geoportal Map



AMER: Every reasonable effort has been made to assure the accuracy of the data presented. The City of Ocean Springs makes no warranties, express or implied, regarding the accuracy, reliability or suitability of the site data and assumes no liability associated with the use or misuse of said data. The City retains the right to make changes and update data on a regular basis at any time, without notification. The parcel data on the base map is used to locate, identify and inventory parcels of land in the City of Ocean Springs for assessment purposes only and is not to be used or interpreted as a legal survey or legal document. Additional data layers not originating in the City's Offices are also presented for informational purposes only. Before using any data in any legal matter, all data should be verified by contacting the appropriate county or municipal office.



