



**ZONING AND ADJUSTMENT BOARD MEETING AGENDA
CITY OF OCEAN SPRINGS - ZONING AND ADJUSTMENTS BOARD
TUESDAY, SEPTEMBER 8, 2026 - 5:00 PM**

1. Call Meeting to Order

2. Approval of Minutes

- a. August 11, 2026

3. Old Business

4. New Business

- a. 408 Russell Ave – PIDN: 61430045.000 – Cory & Jerika Vincent – Request for variances to reduce the required front yard setback from 25' to 18'-9" and the required south side yard setback from 10' to 8'-6" for the construction of a single-family residence.
- b. 1276 Ocean Springs Road – PIDN: 60122105.030 – Heinrich & Associates on behalf of Ocean Springs Road Holdings, LLC – Request for a variance to omit the required six-foot-wide sidewalk along the Ocean Springs Road frontage.

5. Audience Request

6. Adjourn

The Minutes of the City of Ocean Springs
Zoning & Adjustment Board
Tuesday, August 11, 2026

1. Call meeting to order

A meeting of the City of Ocean Springs Zoning and Adjustment Board was called to order by Chairman Nick Gant at 5:00 p.m. on Tuesday, August 11, 2026. Members present were Nick Gant, Lethel Bowden, David Hayden, Don Atwell, and William Thompson. Also present were Amanda Crose - Planning Director and Rae Williams - Planning Technician.

2. Approval of Minutes

- a) July 14, 2026

A motion was made by William Thompson, seconded by Don Atwell, to approve the minutes of July 14, 2026, meeting as presented. The motion carried unanimously.

3. Old Business

- a) None

4. New Business

- a) **Election of Officers**

The Commission conducted its annual Election of Officers. Ballots were distributed to the Commission members, and the votes were tallied by staff.

Following the tally of votes, the following officers were elected to serve for the 2026 - 2027 term:

- **Chairman** – Nick Gant
- **Vice Chairman** – William Thompson
- **Secretary** – Lethel Bowden

5. Audience Request

- a) None

6. Adjourn

A motion was made by Lethel Bowden, seconded by William Thompson, to adjourn the meeting. The motion carried unanimously.

The meeting adjourned at 5:06 p.m.

**CITY OF OCEAN SPRINGS
PLANNING DEPARTMENT
POST OFFICE BOX 1800
OCEAN SPRINGS, MS 39566-1800
228-875-4415**

ZONING AND ADJUSTMENT BOARD REPORT

MEETING DATE: September 8, 2026

APPLICANT: Cory Vincent

OWNER: Cory & Jerika Vincent

REQUESTED ACTION: Variance

DATE OF APPLICATION: July 27, 2026

LOCATION: 408 Russell Ave – Ward 2

PARCEL NUMBER: 61430045.000



Figure 1: ZAB Signage posted on 408 Russell Ave

I. **REQUEST SUMMARY:**

The applicants, Cory and Jerika Vincent, are requesting variances to reduce the required front yard setback from 25' to 18'-9" and the required south side yard setback from 10' to 8'-6" for the construction of a single-family residence.

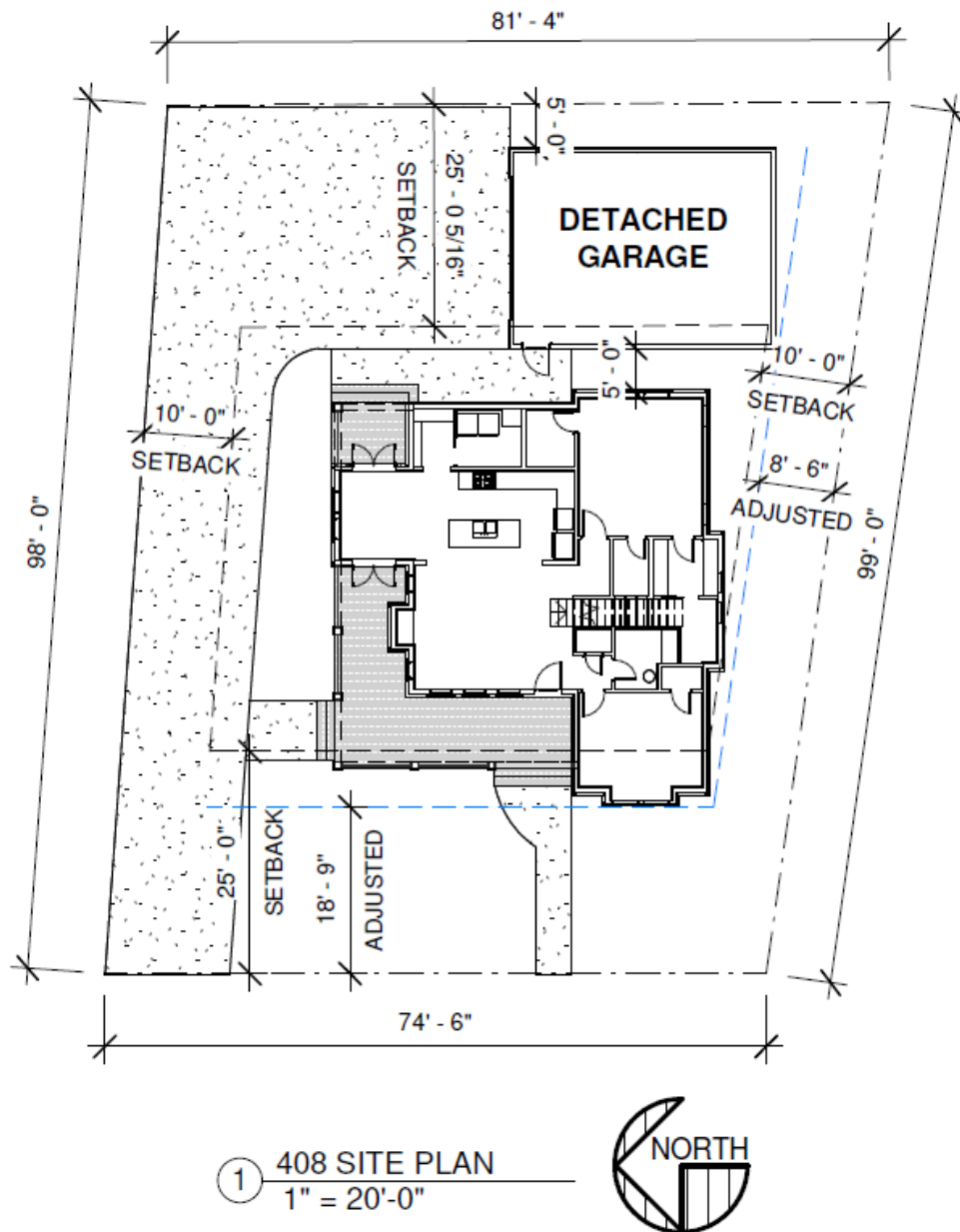


Figure 2: Proposed Site Plan

II. ZONING/LAND USE:

The subject property is zoned R-2, Medium Density Single-Family Residential

- Minimum lot area – 11,250 sq ft
- Minimum lot width – 80'
- Front setback – 25', Side setback – 10', & Rear setback – 25'



Figure 3:

Subject Property and Adjacent Zoning District

III. FINDINGS:

- The subject property is a historically platted, legal nonconforming lot that does not meet the minimum lot area and lot width requirements of the R-2 zoning district.
- The property is located within the R-2, Single-Family Residential District, which requires a minimum lot area of 11,250 square feet and a minimum lot width of 80 feet.
- The applicant is requesting variances to reduce the required front yard setback from 25 feet to 18 feet 9 inches and the required south side yard setback from 10 feet to 8 feet 6 inches.
- Pursuant to UDC Section 1.21.2.D, the Zoning and Adjustment Board (ZAB), by majority vote, may decrease any minimum requirement or increase any maximum requirement by no more than twenty-five percent (25%), except for the required minimum lot area in residential zoning districts. Such variances shall be allowed only for good and substantial reasons, which shall be made part of the record.
 - ✓ 25% reduction of the required 25-foot front yard setback results in a minimum setback of 18 feet 9 inches. Therefore, the requested front yard setback of 18 feet 9 inches represents the maximum reduction that may be approved by the ZAB under this provision.

- ✓ A twenty-five percent (25%) reduction of the required 10-foot side yard setback results in a minimum setback of 7 feet 6 inches. The applicant's requested side yard setback of 8 feet 6 inches is within the ZAB's allowable variance authority.

IV. APPROVAL CRITERIA:

- Variances shall only be issued when there is a showing of good and sufficient cause; and a determination that failure to grant the variance would result in exceptional hardship.
- Where, by reason of exceptional narrowness, shallowness or shape of a specific piece of property at the time of the original adoption of the regulations, or by reason of exceptional topographical conditions or other extraordinary or exceptional situation or condition of a specific piece of property, which condition is not generally prevalent in the area, the strict application of these regulations would result in peculiar and exceptional practical difficulties to or exceptional and undue hardship upon the owner of such property.

V. PUBLIC NOTICE:

- Legal Advertisement posted in the Sun Herald on August 23, 2026.
- Zoning and Adjustment Board yard signs were posted on the property on August 21, 2026.
- Public Notice notifications were mailed to adjacent property owners within a 500-foot radius on August 21, 2026.

VI. PUBLIC FEEDBACK:

None received as of September 4, 2026

VII. POTENTIAL MOTIONS:

A motion to recommend **approval** of variances to reduce the required front yard setback from 25' to 18'-9" and the required south side yard setback from 10' to 8'-6" for the construction of a single-family residence. (*state the criteria met for the variance in your motion*)

-OR-

A motion to recommend **denial** of variances to reduce the required front yard setback from 25' to 18'-9" and the required south side yard setback from 10' to 8'-6" for the construction of a single-family residence.



City of Ocean Springs
Planning Department
PO Box 1800
Ocean Springs, MS 39564
(228) 875-4415

VARIANCE REQUEST APPLICATION

Per the adopted fee schedule, the following application fees apply:

Application Fee Required: **\$51.00*** (NON-REFUNDABLE)

*Ordinance 2022-17 following the requirements of Section 25-60-5 MS Code Annotated, \$1.00 fee included

Applicant is responsible for all public mailer fees. Must be paid prior to Zoning & Adjustment Board Meeting.

Application Date: 7/1/26 Applications are due by the 7th of each month.

Name of Rightful Owner(s): Cony & Jerika Vincent

Name of Applicant (if different than Owner): _____

Property Address: 408 Russell Ave, Ocean Springs, MS 39564
PIDN: (list all applicable) 61430045.000

1. Applicant: Cony Vincent Phone: 228-209-7564
Address: 8904 Point Aux Chenes Rd Email: cony@coastlinedesign.build
Ocean Springs, MS
2. Owner of Record: " Phone: "
Address: " Email: "

Please note:

The variance application shall state fully the special conditions and circumstances applying to the building or other structure or land for which such variance is sought. The application shall demonstrate that the existing conditions and circumstances are such that the strict application of the provisions of the Unified Development Code provisions would deprive the Applicant of reasonable use of said land, building, or structure, equivalent to the use made of lands, buildings, or structures in the same district and permitted under the terms of this provision and that the peculiar conditions and circumstances are not the result of the actions of the Applicant.

ANSWER ALL QUESTIONS BELOW:

1. Current Zoning classification of property: R2

2. Current Ward Number the property is located in: 2

3. State the type of variance request you are requesting: (setback, height, parking, etc.)

Front (West) Setback

Side (South) Setback

4. State the minimum requirements of the Unified Development Code (UDC) and how are you requesting to vary. Please explain:

Front Setback (25' min) requesting 25% (18'-9")

Side Setback (10' min) requesting 25% (8'-6")

4. Does a special condition or circumstance peculiar to the property exist which rises to a level that warrants the amount of variance relief requested? Please explain: Lot is an

awkward parallelogram. To go parallel with the street, and make it match up better with other homes on the road, it's needed.

5. Was the hardship self-created? Please explain: no,

the lot lines already existed

6. Provide justification of the variance request. Justification must include exceptional narrowness, shallowness, shape of a specific piece of property, exceptional topographical conditional, or other extraordinary situation. You may submit pictures to support your application: Awkward lot shape.

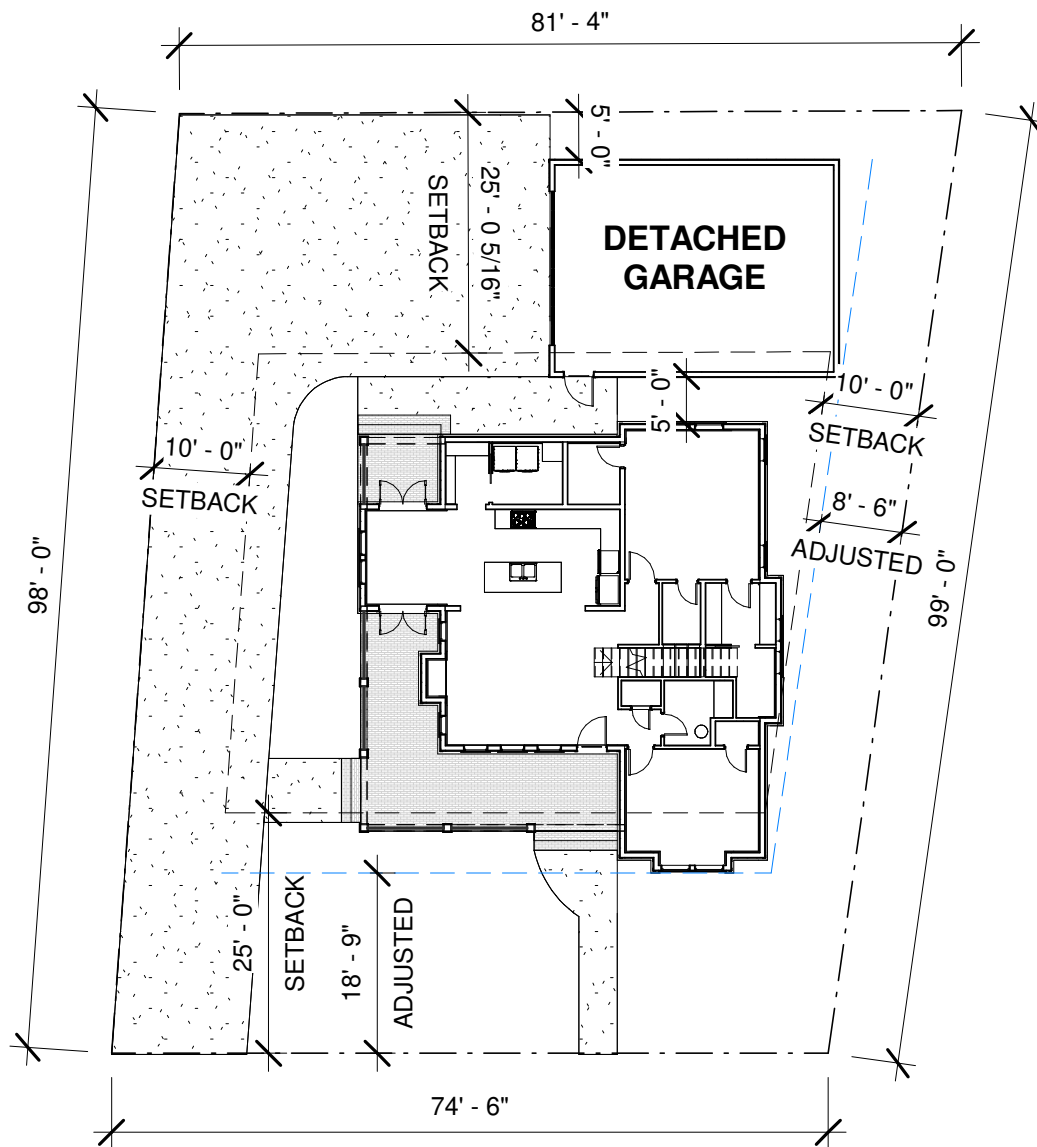
Many homes along Russell Ave appear to be closer to the requested setback, not 25.'

ATTACHMENTS REQUIRED (initial each box or N/A if not applicable):

- ☒ 1. **\$51.00*** Application Fee.
- ☒ 2. Site plan of the subject property with all dimensions as applicable.
- ☒ 3. Legal description; street address.
- ☒ 4. Copy of protective covenants or deed restrictions, if any.
- ☒ 5. Warranty Deed (Proof of Ownership)**

*****All property owners must sign the application. You may include additional signature pages if needed.***

*****If the applicant is authorized to represent property owner, the applicant must provide documentation signed by the property owner.***



① 408 SITE PLAN
1" = 20'-0"



VARIANCE REQUEST

COASTLINE DESIGN BUILD LLC
8904 POINT AUX CHENES RD, OCEAN SPRINGS, MS 39564
228.209.7564 | CORY@COASTLINEDESIGN.BUILD

NUMBER: 26-012
DATE: 07/27/2026
DRAWN: CDV

A002

OFFICIAL RECORDS JACKSON COUNTY
Josh Eldridge
CHANCERY CLERK
RECORDING FEE \$26.00
#202615659 BK: 2272 Pg: 254-256
07/28/2026 11:51:51 AM 3 PGS
AMELL/MW, DC Rec#23637



202615659 3 PGS

Prepared by: BORDIS & DANOS, PLLC
1215 Government St.
Ocean Springs, MS 39564
(228) 215-1367

Return to: BORDIS & DANOS, PLLC
1215 Government St.
Ocean Springs, MS 39564
(228) 215-1367

STATE OF MISSISSIPPI
COUNTY OF JACKSON

Indexing: Pt. Lot 26, Blk.6, Russell S/D,
JacksonCounty, MS

WARRANTY DEED

FOR AND IN CONSIDERATION of the sum of Ten and No/100ths Dollars
(\$10.00), cash in hand paid, and other good and valuable consideration, the receipt
of which is hereby acknowledged, we,

JASON DAN WELCO and CHARLOTTE WARD WELCO
Trustees of the Welco Revocable Family Trust
10 Mulberry Place
Ocean Springs, Mississippi 39564
228-775-338-6171

do hereby sell, convey and warrant unto

CORY DILLON VINCENT and JERIKA VINCENT
8904 Pointe Aux Chenes Road
Ocean Springs, Mississippi 39564
228-209-7564

any and all of our right, title and interest in and to that certain tract, piece or parcel of land situated in the County of Jackson, State of Mississippi, described as follows, to-wit:

That certain piece or parcel of land having been described as part of Lot 26, Block 6 of the Russell Subdivision, Plat Book 1, Page 33, Jackson County, Mississippi, on file at the office of the Chancery Clerk, Jackson County, Mississippi, and further being part of the Southwest 1/4 of the Northeast 1/4 of Section 30, Township 7 South, Range 8 West, Jackson County, Mississippi, and being more particularly described as follows: Commence at an old rusty bar found (original size indeterminate) at the Northeast corner of Lot 1, Block 1 of said subdivision; thence North $89^{\circ}00'35''$ West a distance of 182 feet to a 2-inch iron pipe found at the Northwest corner of Lot 4, Block 1 of said subdivision (said 2-inch iron pipe found having State Plane Coordinates of North 331,425.8 and East 987,013.3 MS E NAD 83); thence South $00^{\circ}06'04''$ West a distance of 606.35 feet to an old wood fence corner found on the East margin of Russell Avenue; thence South $00^{\circ}55'09''$ West along the East margin of Russell Avenue a distance of 49.71 feet to an old fence corner found; thence South $86^{\circ}12'05''$ East along an old fence, a distance of 99.36 feet to an old fence corner found and the Point of Beginning; thence South $00^{\circ}44'42''$ West along an old fence, a distance of 75.82 feet to an old fence corner found; thence North $82^{\circ}07'28''$ West along an old fence, a distance of 99.64 feet to an old fence corner found on the East margin of Russell Avenue; thence North $00^{\circ}27'15''$ East along the East margin of Russell Avenue, a distance of 68.75 feet to an old fence corner found; thence South $86^{\circ}12'05''$ East a distance of 99.36 feet to the Point of Beginning.

Said property to extend to or be subtended by the right-of-way of said Avenue.

Reference Bearing: Mississippi State Plane Coordinate System MS E NAD 83, GPS used only to establish bearings and the State Plane Coordinates of the single point described above Convergency angle $0^{\circ}00'16''$ Conventional equipment used to measure distances and angles. No correction factor used.

TO HAVE AND TO HOLD the above warranted premises, together with all and singular, the hereditaments and appurtenance thereunder belonging or in any wise appertaining to said Grantee(s), (his/her/their) heirs and assigns forever.

THIS CONVEYANCE is made subject to any and all recorded restrictive

covenants, rights-of-way, easements and prior reservations of any oil, gas and mineral rights.

Ad valorem taxes for the year 2026 are assumed by the Grantee(s) herein.

WITNESS my signature, this the 24th day of July, 2026.

WELCO REVOCABLE FAMILY TRUST

BY: [Signature]
JASON DAN WELCO, Trustee

BY: [Signature]
CHARLOTTE WARD WELCO, Trustee

STATE OF Mississippi

COUNTY OF Jackson

PERSONALLY appeared before me, the undersigned authority in and for the aforesaid jurisdiction, the within named Jason Dan Welco and Charlotte Ward Welco, who acknowledged that they are the Trustees of the Welco Revocable Family Trust, and that they signed, executed and delivered the above and foregoing instrument of writing on the day and year therein mentioned, after first having been duly authorized so to do.

GIVEN UNDER MY HAND AND OFFICIAL SEAL OF OFFICE, this the 24th day of July, 2026.

[Signature]
NOTARY PUBLIC

My Commission Expires:

bjm



You are receiving this notice as the owner of property located within the required notification area for the project described below.

CITY OF OCEAN SPRINGS

Planning Department

P.O. Box 1800
Ocean Springs, MS 39566-1800
228-875-4415

PUBLIC NOTICE

Public notice is hereby given that the City of Ocean Springs Zoning and Adjustment Board will hold a public meeting in the regular meeting place of the Board of Aldermen located in City Hall at:

1018 Porter Avenue
Ocean Springs, MS, 39564

on

Tuesday, September 8, 2026 at 5:00 p.m.

Regarding the following:

408 Russell Ave – PIDN: 61430045.000 – Cory & Jerika Vincent – Request for variances to reduce the required front yard setback from 25' to 18'-9" and the required south side yard setback from 10' to 8'-6" for the construction of a single-family residence.

Written comments regarding the above request may be submitted by mail to the City of Ocean Springs Planning Department, P.O. Box 1800, Ocean Springs, MS 39566-1800 or by email to Amanda Crose, Planning Director at acrose@oceansprings-ms.gov or Rae Williams, Planning Technician at rwilliams@oceansprings-ms.gov.



**CITY OF OCEAN SPRINGS
PLANNING DEPARTMENT
POST OFFICE BOX 1800
OCEAN SPRINGS, MS 39566-1800
228-875-4415**

ZONING AND ADJUSTMENT BOARD REPORT

MEETING DATE: September 8, 2026

APPLICANT: Heinrich and Associates / Robert Heinrich

OWNER: Ocean Springs Road Holdings, LLC

REQUESTED ACTION: Variance

DATE OF APPLICATION: August 6, 2026

LOCATION: 1276 Ocean Springs Rd (Ward 5)

PARCEL NUMBER: 60122105.030



Figure 1. Zoning & Adjustment Board Signage at 1276 Ocean Springs Road

I. REQUEST SUMMARY:

Heinrich and Associates, on behalf of Ocean Springs Road Holdings, LLC, is requesting a variance to omit the required six-foot-wide sidewalk along the Ocean Springs Road frontage.

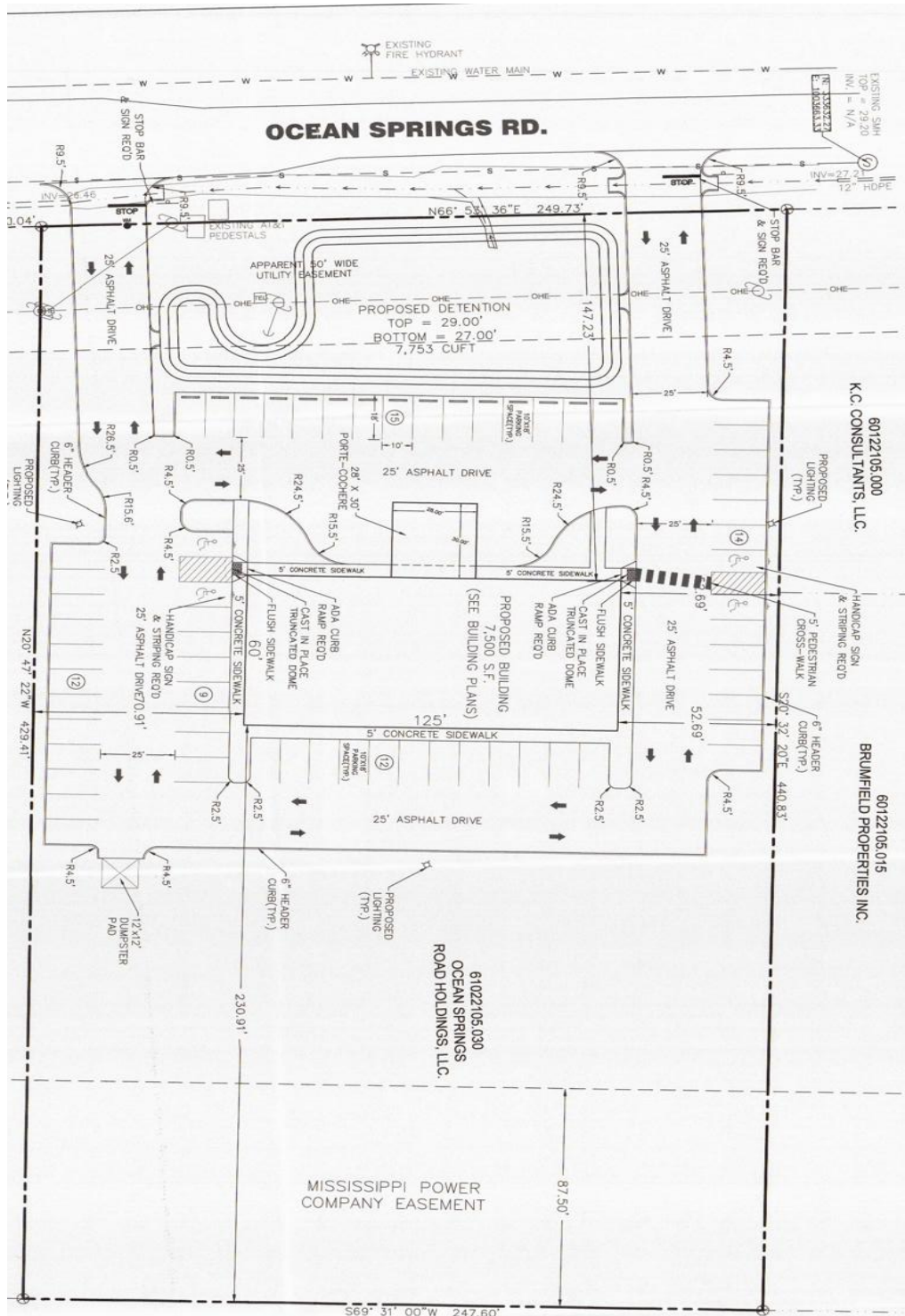


Figure 2. Proposed Site Plan

II. PROJECT HISTORY:

A Design Review Application was submitted on February 6, 2025, for Exceed Therapy, a proposed new commercial development at 1276 Ocean Springs Road. The original application did not include a variance request.

As part of the Design Review process, sidewalks along the Ocean Springs Road frontage were required for Design Review approval. The project received Design Review approval on May 6, 2025.

The applicant is now seeking relief from the sidewalk requirement and is requesting a variance to omit the required sidewalk along the Ocean Springs Road frontage from the proposed development.

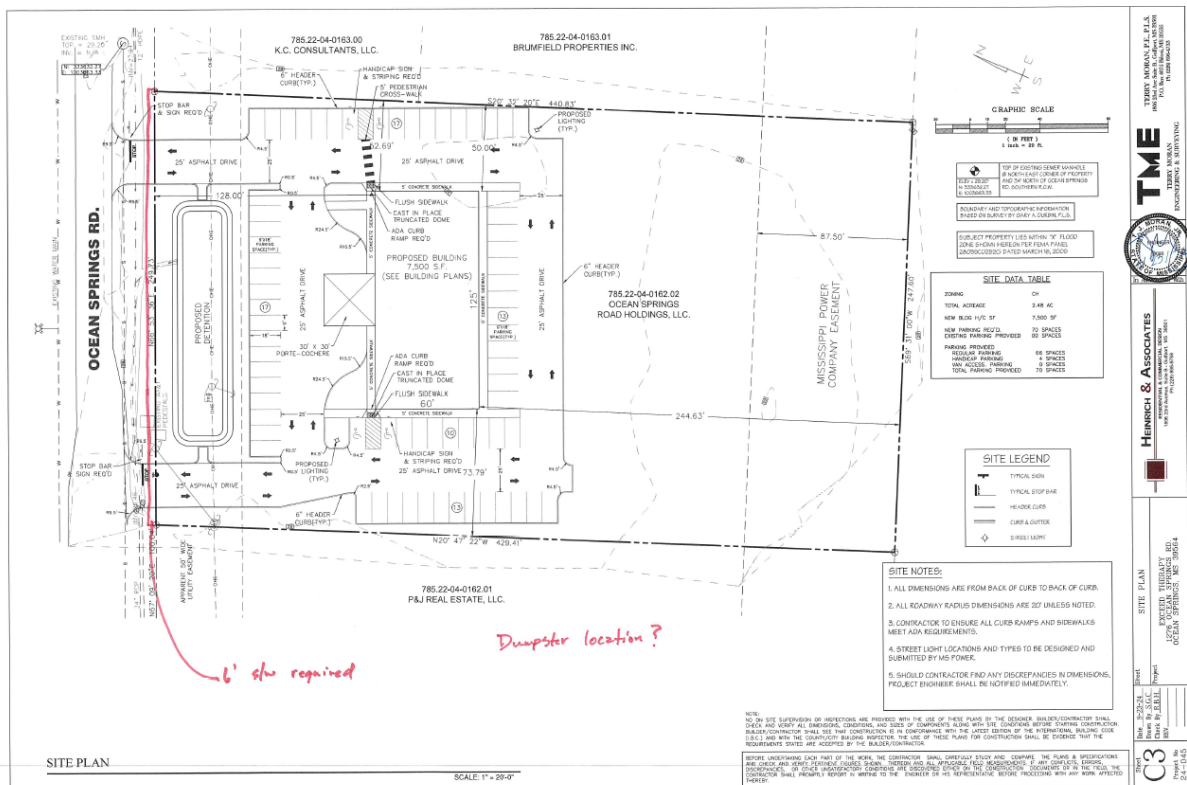
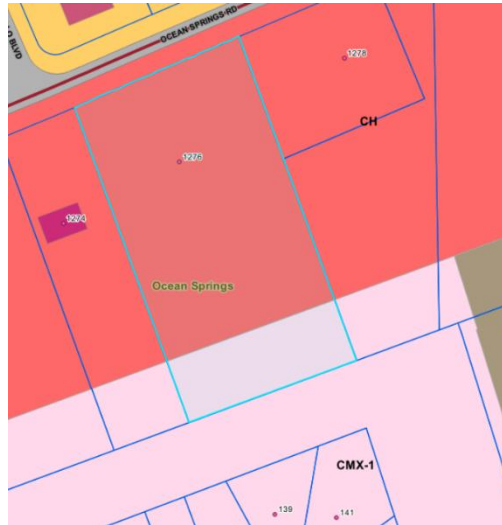


Figure 3: Design Review Comment, Engineering

III. **ZONING/LAND USE:**

The subject property is approximately 2.48 acres and is split zoned CH, Regional Commercial and CMX-1, Neighborhood Commercial/Mixed Use fronting along Ocean Springs Road.



IV. **FINDINGS:**

- Unified Development Code (UDC) Section 5.5.1 states that sidewalks shall be constructed in all new commercial building locations, with said sidewalks being constructed in the street right-of-way in every case practicable.
- UDC Section 5.5.2.C states commercial zoned area sidewalks shall be a minimum six (6) feet wide.
- The proposed development is subject to the City's sidewalk requirements, and a sidewalk along the Ocean Springs Road frontage was required as part of the Design Review process.
- The applicant is requesting to omit the required sidewalk from the proposed development, citing that an existing power line easement along the property limits the area available for construction of the required sidewalk. The applicant further stated there are no existing sidewalks along the eastern side of Ocean Springs north or south of this location, which would result in the proposed sidewalk being an isolated segment.
- The submitted documentation identifies an existing approximately 6-foot-wide sidewalk on the west side of Ocean Springs Road, across from the subject property.
- Approval of the request would result in no sidewalk being constructed along the subject property's Ocean Springs Road frontage as part of the proposed development.

V. APPROVAL CRITERIA:

- Pursuant to UDC Section 1.21.2.D, the Zoning and Adjustment Board (ZAB), by majority vote, may decrease any minimum requirement or increase any maximum requirement by no more than twenty-five percent (25%), except for the required minimum lot area in residential zoning districts. Such variances shall be allowed only for good and substantial reasons, which shall be made part of the record.
- Variances shall only be issued when there is a showing of good and sufficient cause; and a determination that failure to grant the variance would result in exceptional hardship.
- Where, by reason of exceptional narrowness, shallowness or shape of a specific piece of property at the time of the original adoption of the regulations, or by reason of exceptional topographical conditions or other extraordinary or exceptional situation or condition of a specific piece of property, which condition is not generally prevalent in the area, the strict application of these regulations would result in peculiar and exceptional practical difficulties to or exceptional and undue hardship upon the owner of such property.

VI. PUBLIC NOTICE:

- Legal Advertisement posted in the Sun Herald on August 23,2026.
- Zoning and Adjustment Board yard signs were posted on the property on August 24,2026.
- Public Notice notifications were mailed to adjacent property owners within a 500-foot radius on August 24,2026.

VII. PUBLIC FEEDBACK:

None received as of September 4, 2026.

VIII. POTENTIAL MOTIONS:

A motion to recommend **approval** of the request to omit the required six-foot-wide sidewalk along the Ocean Springs Road frontage. *(state the criteria met for the variance in your motion)*

-OR-

A motion to recommend **denial** of the request to omit the required six-foot-wide sidewalk along the Ocean Springs Road frontage.



City of Ocean Springs
Planning Department
PO Box 1800
Ocean Springs, MS 39564
(228) 875-4415

VARIANCE REQUEST APPLICATION

Per the adopted fee schedule, the following application fees apply:

Application Fee Required: **\$51.00*** (NON-REFUNDABLE)

*Ordinance 2022-17 following the requirements of Section 25-60-5 MS Code Annotated, \$1.00 fee included

Applicant is responsible for all public mailer fees. Must be paid prior to Zoning & Adjustment Board Meeting.

Application Date: 8/6/2026 Applications are due by the 7th of each month.

Name of Rightful Owner(s): Ocean Springs Road Holdings, LLC

Name of Applicant (if different than Owner): Robert Heinrich

Property Address: 1276 Ocean Springs Road, Ocean Springs, MS, 39564

PIDN: (list all applicable) 60122105.030

1. Applicant: Heinrich and Associates Phone: 228-896-6768

Address: 1806 23rd Avenue, Suite B, Gulfport, MS 39501 Email: bobby.h@heinrichassociates.net
audra.s@heinrichassociates.net

2. Owner of Record: Ocean Springs Road Holding, LLC Phone: 228-265-9606

Address: 52 Shoreline Lane, Gulfport, 39503 Email: todd@exceedtherapy.com

Please note:

The variance application shall state fully the special conditions and circumstances applying to the building or other structure or land for which such variance is sought. The application shall demonstrate that the existing conditions and circumstances are such that the strict application of the provisions of the Unified Development Code provisions would deprive the Applicant of reasonable use of said land, building, or structure, equivalent to the use made of lands, buildings, or structures in the same district and permitted under the terms of this provision and that the peculiar conditions and circumstances are not the result of the actions of the Applicant.

ANSWER ALL QUESTIONS BELOW:

1. Current Zoning classification of property: CH (80.94%) & CMX-1 (19.06%)

2. Current Ward Number the property is located in: 5

3. State the type of variance request you are requesting: (setback, height, parking, etc.)

Sidewalk Varriance: The applicant is requesting to omit the sidewalk.

4. State the minimum requirements of the Unified Development Code (UDC) and how are you requesting to vary. Please explain:

In mixed-use, commercial or industrial zoned area sidewalks shall be a minimum six (6) feet wide, four (4) inches thick, have a 2,500-psi mix and may abut the street curb.

In the event that it can be shown that the required sidewalks would be impractical to install or would serve no useful purpose, the requirements of this section may be waived in part or in entirety by the Board of Aldermen upon recommendation of the Planning Commission.

4. Does a special condition or circumstance peculiar to the property exist which rises to a level that warrants the amount of variance relief requested? Please explain: _____

An existing power line easement significantly limits the area available for sidewalk construction and creates a practical hardship. In addition, there are no existing sidewalks on the north or south side of the roadway for a proposed sidewalk to connect to, resulting in an isolated segment that provides no pedestrian benefit.

5. Was the hardship self-created? Please explain: No, this hardship was not self-created.

Existing site constraints, the request to omit the sidewalk is based on practical difficulties associated with the property and existing infrastructure rather than a hardship created by the applicant.

6. Provide justification of the variance request. Justification must include exceptional narrowness, shallowness, shape of a specific piece of property, exceptional topographical conditional, or other extraordinary situation. You may submit pictures to support your application: _____

There are no existing sidewalks on either the north or south side of the road; therefore, there is no sidewalk for this proposed sidewalk to connect to. There is, however, an existing 6-foot-wide sidewalk on the west side of the road. Additionally, as stated above, a hardship exists due to the need to navigate the sidewalk through existing power line easement.

ATTACHMENTS REQUIRED (initial each box or N/A if not applicable):

- ☒ 1. **\$51.00*** Application Fee.
- ☒ 2. Site plan of the subject property with all dimensions as applicable.
- ☒ 3. Legal description; street address.
- ☒ 4. Copy of protective covenants or deed restrictions, if any.
- ☒ 5. Warranty Deed (Proof of Ownership)**

*****All property owners must sign the application. You may include additional signature pages if needed.***

*****If the applicant is authorized to represent property owner, the applicant must provide documentation signed by the property owner.***

Affidavit of Ownership (if multiple owners, each owner must complete separate pages)

Attached hereto is an affidavit of ownership indicating the dates the respective holdings of land were acquired, together with the book and page of each conveyance into the present owner as recorded in the County Records of Deeds (Chancery Clerk) office. This affidavit shall indicate the legal ownership of the property, the contract owner of the property, and the date the contract of sale was executed.

I, (print name) Ocean Springs Road Holding, LLC, hereby certify that:

1. I am the owner of the property that is the subject of this application and that I have read and understand the requirements as outlined in the application.
2. There are no outstanding City of Ocean Springs property taxes or special assessments on the original parcel(s).

I further acknowledge that the information provided herein is true and correct to the best of my knowledge.

Owner(s) Name: Ocean Springs Road Holding, LLC (Todd Smith)

Parcel ID(s): 60122105.030

Date Property Acquired Date: February 5, 2024

Book and Page of Each Conveyance: BK: 2154 PG 284-285

Owner's Signature

Todd Smith

Date

8/6/24

STATE OF

MS

COUNTY OF

Hancock

I MELANIE LAMB, hereby depose and say that all the above statements and the statements contained in the papers submitted herewith are true.

Mailing Address

4212 Noma Place

Diamondhead, MS 39525

Subscribed and sworn before me this

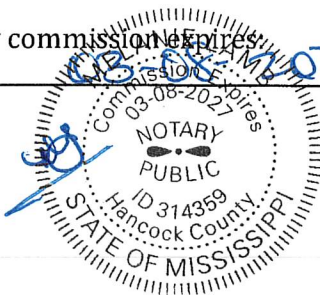
06

day of

August

My commission expires

03-08-2027

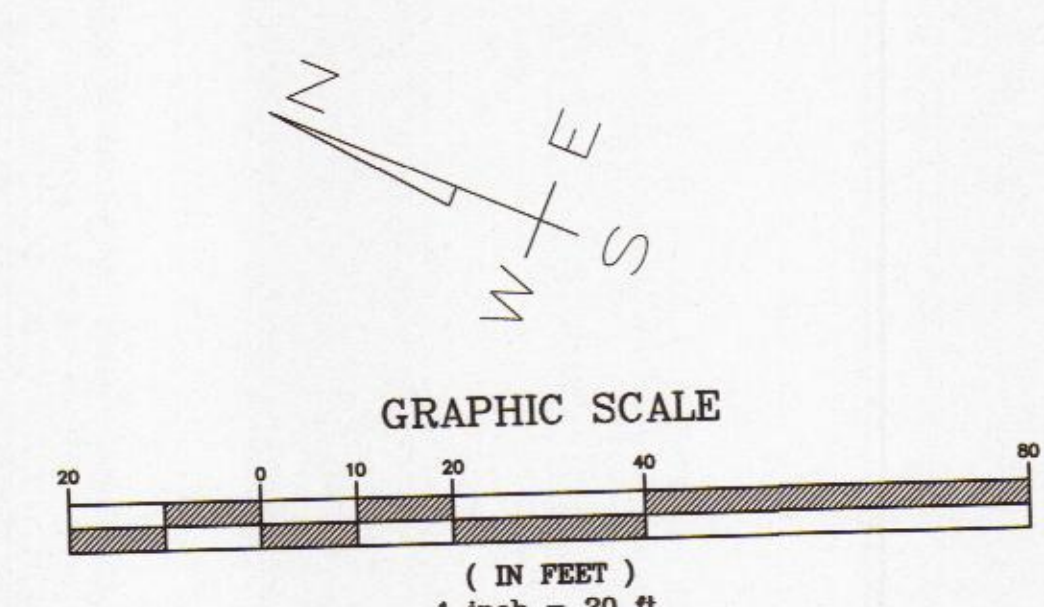
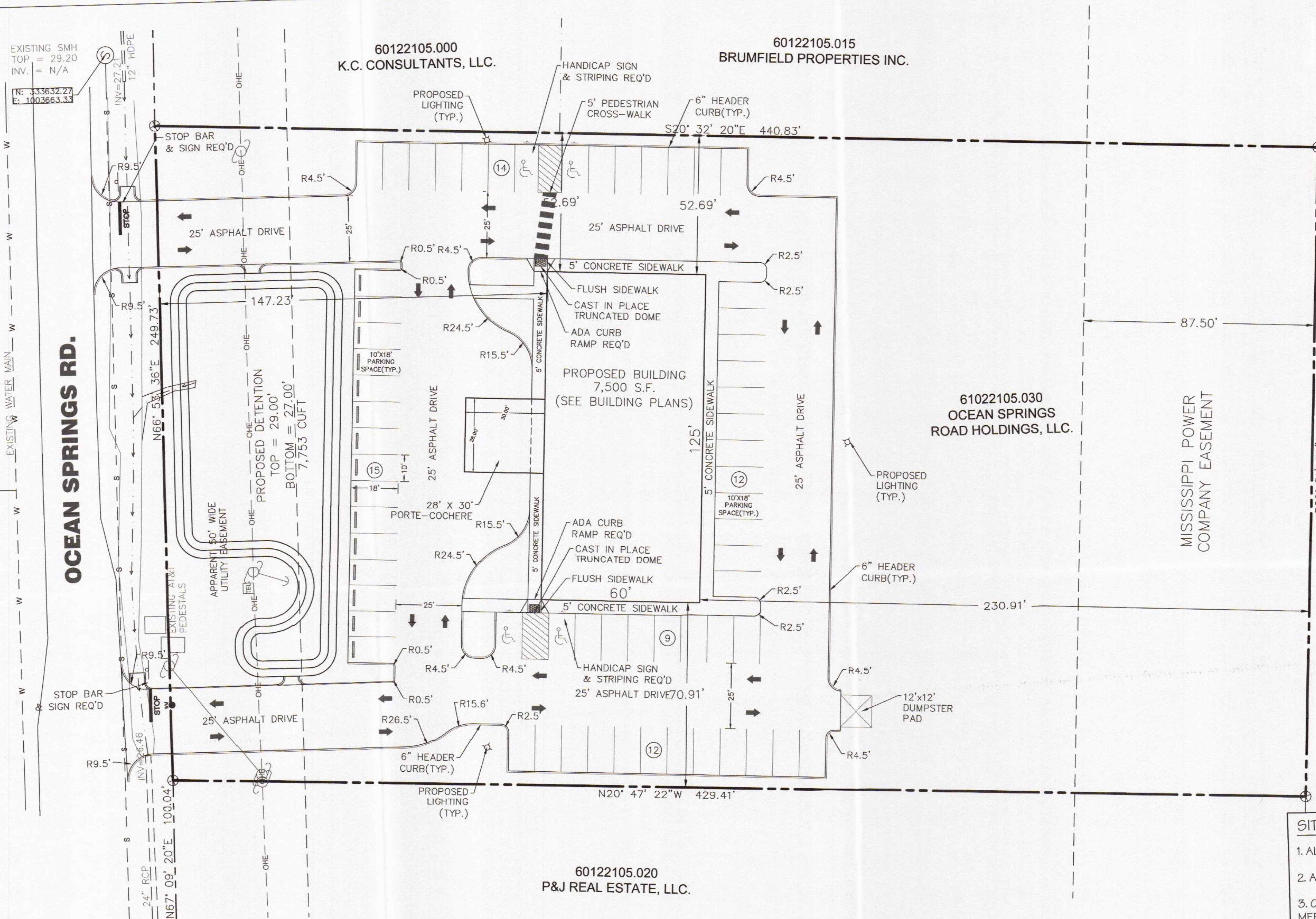


Melanie Lamb

Notary Signature

SITE PLAN

SCALE: 1" = 20'-0"



TOP OF EXISTING SEWER MANHOLE
@ NORTH EAST CORNER OF PROPERTY
AND 34' NORTH OF OCEAN SPRINGS
RD. SOUTHERN R.O.W.
ELEV = 29.27
N: 535652.27
E: 1003663.33

BOUNDARY AND TOPOGRAPHIC INFORMATION
BASED ON SURVEY BY GARY A. DURBIN, P.L.S.

SUBJECT PROPERTY LIES WITHIN "X" FLOOD
ZONE SHOWN HEREON PER FEMA PANEL
28059C0292G DATED MARCH 16, 2009

SITE DATA TABLE	
ZONING	CH
TOTAL ACREAGE	2.48 AC
NEW BLDG H/C SF	7,500 SF
NEW PARKING REQ'D.	62 SPACES
EXISTING PARKING PROVIDED	00 SPACES
PARKING PROVIDED	
REGULAR PARKING	58 SPACES
HANDICAP PARKING	4 SPACES
VAN ACCESS. PARKING	0 SPACES
TOTAL PARKING PROVIDED	62 SPACES
PERVIOUS AREA	1.44 ACRES
PERVIOUS PERCENTAGE	58.1%
IMPERVIOUS AREA	1.04 ACRES
IMPERVIOUS PERCENTAGE	41.9%

SITE LEGEND	
	TYPICAL SIGN
	TYPICAL STOP BAR
	HEADER CURB
	CURB & GUTTER
	STREET LIGHT

- SITE NOTES:**
1. ALL DIMENSIONS ARE FROM BACK OF CURB TO BACK OF CURB.
 2. ALL ROADWAY RADIUS DIMENSIONS ARE 20' UNLESS NOTED.
 3. CONTRACTOR TO ENSURE ALL CURB RAMP'S AND SIDEWALKS MEET ADA REQUIREMENTS.
 4. STREET LIGHT LOCATIONS AND TYPES TO BE DESIGNED AND SUBMITTED BY MG POWER.
 5. SHOULD CONTRACTOR FIND ANY DISCREPANCIES IN DIMENSIONS, PROJECT ENGINEER SHALL BE NOTIFIED IMMEDIATELY.

NOTE:
NO ON SITE SUPERVISION OR INSPECTIONS ARE PROVIDED WITH THE USE OF THESE PLANS BY THE DESIGNER. BUILDER/CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, CONDITIONS, AND SIZES OF COMPONENTS ALONG WITH SITE CONDITIONS BEFORE STARTING CONSTRUCTION. BUILDER/CONTRACTOR SHALL SEE THAT CONSTRUCTION IS IN CONFORMANCE WITH THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE (I.B.C.) AND WITH THE COUNTY/CITY BUILDING INSPECTOR. THE USE OF THESE PLANS FOR CONSTRUCTION SHALL BE EVIDENCE THAT THE REQUIREMENTS STATED ARE ACCEPTED BY THE BUILDER/CONTRACTOR.

BEFORE UNDERTAKING EACH PART OF THE WORK, THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE PLANS & SPECIFICATIONS AND CHECK AND VERIFY PERTINENT FIGURES SHOWN THEREON AND ALL APPLICABLE FIELD MEASUREMENTS. IF ANY CONFLICTS, ERRORS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED EITHER ON THE CONSTRUCTION DOCUMENTS OR IN THE FIELD, THE CONTRACTOR SHALL PROMPTLY REPORT IN WRITING TO THE ENGINEER OR HIS REPRESENTATIVE BEFORE PROCEEDING WITH ANY WORK AFFECTED THEREBY.

TERRY MORAN, P.E., P.L.S.
1806 23rd Ave Suite B, Gulfport, MS 38501
P.O. Box 4073 Biloxi, MS 38535
Ph: (228) 896-4733

TERRY MORAN
ENGINEERING & SURVEYING

TERRY MORAN, JR.
REGISTERED PROFESSIONAL ENGINEER
STATE OF MISSISSIPPI
No. 10005

HEINRICH & ASSOCIATES
RESIDENTIAL & COMMERCIAL DESIGN
1806 23rd Avenue, Suite B Gulfport, MS 38501
Ph: (228) 896-6768

SITE PLAN

Project: EXCEED THERAPY 1276 OCEAN SPRINGS RD. OCEAN SPRINGS, MS 39564

Sheet: 3-18-25
Date: 3-18-25
Drawn By: S.G.C.
Check By: R.B.H.
REV: _____

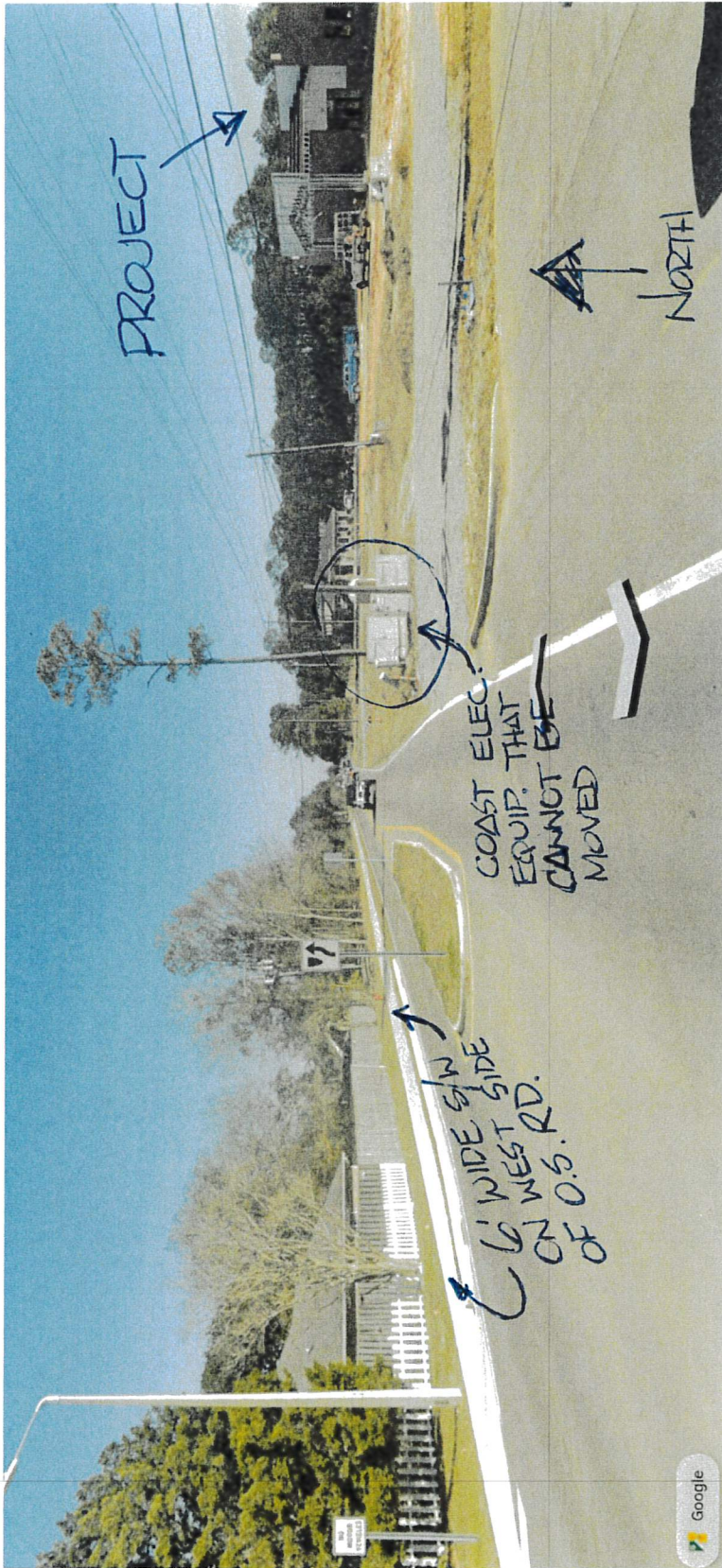
Project No: 24-045

This map illustrates the residential layout of Ocean Springs, Alabama, with various zoning districts and street networks. The map is color-coded to show different zoning areas: R-1 (yellow), R-2 (orange), CH (red), RM-2 (light green), and CMX-T (light blue). Major roads include Ocean Springs Rd, Culeoka Dr, Springwood Ln, and Silverwood Dr. Numerous lot numbers are displayed throughout the map, indicating individual property parcels. The map also shows the locations of several schools, including Ocean Springs Elementary School, Ocean Springs Middle School, and Ocean Springs High School. The map is oriented with North at the top.



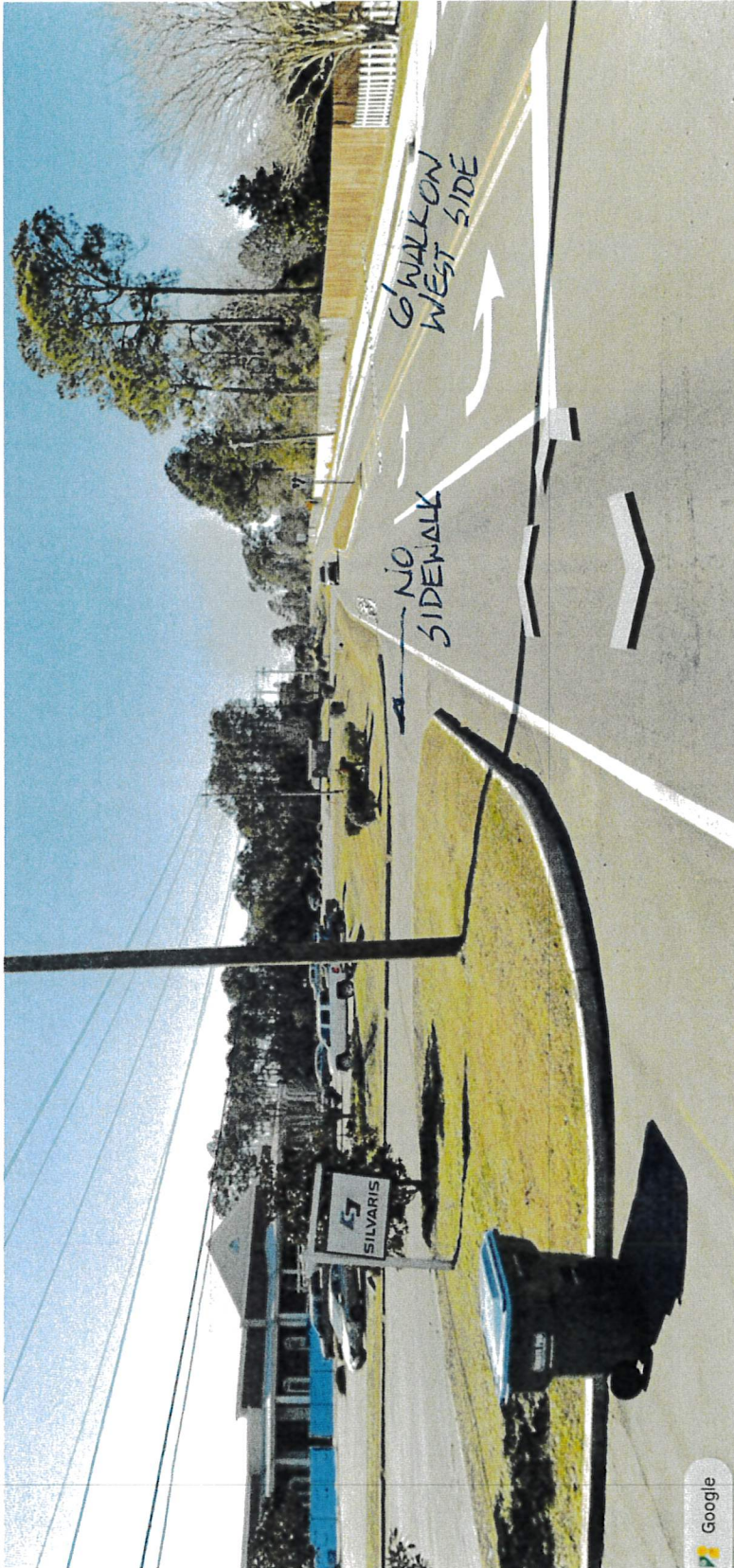








LOOK NORTH FROM
PROJECT.



LOOKING SOUTH FROM
PROJECT

OFFICIAL RECORDS JACKSON COUNTY, MS
Josh Eldridge, Chancery Clerk
Electronically Recorded
RECORDING FEE: \$ 26.00
MINERAL TAX: \$0.00
202402359
BK: 2154 PG: 284 - 285
02/08/2024 01:50:44 PM 2 PG(S)
Receipt # 3052

Our File: B230950
Prepared by & Return To: Schwartz, Orgler & Jordan, PLLC,
PO BOX 4682, BILOXI MS 39535, 228-388-7441

STATE OF MISSISSIPPI

COUNTY OF JACKSON

Index in Sec 22-7-8

WARRANTY DEED

FOR AND IN CONSIDERATION of the sum of Ten Dollars (\$10.00), cash in hand paid, and other good and valuable consideration, the receipt and sufficiency of all of which is hereby acknowledged, the undersigned,

Hoa Ly Bui, Alisa Kim Anh Nguyen and Chi Hao Nguyen,

354 Elder Ln, Winnetka, IL 60093, 832-215-1804,

do hereby sell, convey and warrant unto

Ocean Springs Road Holdings, LLC,

53 Shoreline Ln, Gulfport, MS 39503, 228-861-4218,

the following described land and property being located in Jackson County, Mississippi, being more particularly described as follows, to-wit:

That certain tract or parcel of land situated in Section 22, Township 7 South, Range 8 West, Jackson County, Mississippi, being more fully described as:

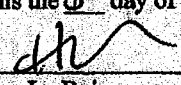
Commencing at the Southeast corner of Section 22, Township 7 South, Range 8 West; thence run North 00°25'00" West 667.40 feet; thence run South 89°53'00" West 1000.00 feet; thence run North 00°25'00" West 505.02 feet to a point which lies on the centerline of a 175-foot Mississippi Power Company easement; thence run South 69°33'58" West 744.60 feet along the centerline of a 175-foot Mississippi Power Company easement to the POINT OF BEGINNING; thence run North 20°26'02" West 440.72 feet to a point which lies on the South right-of-way line of Ocean Springs-Vancleave Road (MS Highway No. 59); thence run South 67°02'00" West along the South right-of-way line of said Ocean Springs-Vancleave Road 247.50 feet; thence run South 20°26'02" East 429.78 feet to a point which lies on the centerline of said Mississippi Power Company easement; thence run North 69°33'58" East along said centerline of Mississippi Power Company easement 247.60 feet back to the POINT OF BEGINNING, containing 2.48 acres, more or less.

The above described property is no part of the homestead of the Grantors herein.

THIS CONVEYANCE is subject to any and all recorded restrictive covenants, rights-of-way and easements applicable to subject property, and subject to any and all prior recorded reservations, conveyances and leases of oil, gas and minerals by previous owners.

AD VALOREM TAXES for the current year have been pro-rated and are hereby assumed by the Grantee herein.

WITNESS OUR SIGNATURES, on this the 5 day of February, 2024.



Hoa Ly Bui



Alisa Kim Anh Nguyen



Chi Hao Nguyen

State of FL

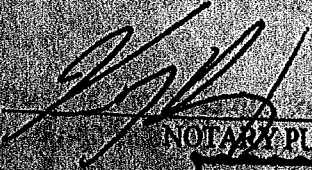
County of Brow

THIS DAY PERSONALLY CAME AND APPEARED BEFORE ME, the undersigned authority in and for the jurisdiction aforesaid, Hoa Ly Bui, Alisa Kim Anh Nguyen and Chi Hao Nguyen, who acknowledged that the above and foregoing instrument was signed and delivered as the free and voluntary act and deed of the Grantors on the day and in the year therein mentioned.

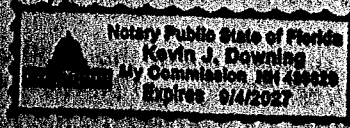
GIVEN UNDER MY HAND AND OFFICIAL SEAL OF OFFICE, this the 5 day of February, 2024.

My Commission Expires:

9/4/27



NOTARY PUBLIC



You are receiving this notice as the owner of property located within the required notification area for the project described below.

CITY OF OCEAN SPRINGS

Planning Department
P.O. Box 1800
Ocean Springs, MS 39566-1800
228-875-4415

PUBLIC NOTICE

Public notice is hereby given that the City of Ocean Springs Zoning & Adjustment Board will hold a public meeting in the regular meeting place of the Board of Aldermen located in City Hall at:

1018 Porter Avenue
Ocean Springs, MS, 39564

on

Tuesday, September 8, 2026 at 5:00 p.m.

Regarding the following:

1276 Ocean Springs Road – PIDN: 60122105.030 – Heinrich & Associates on behalf of Ocean Springs Road Holdings, LLC – Request for a variance to omit the required six-foot-wide sidewalk along the Ocean Springs Road frontage.

Written comments regarding the above request may be submitted by mail to the City of Ocean Springs Planning Department, P.O. Box 1800, Ocean Springs, MS 39566-1800 or by email to Amanda Crose, Planning Director at acrose@oceansprings-ms.gov or Rae Williams, Planning Technician at rwilliams@oceansprings-ms.gov.

